



REGULAR MEETING OF COUNCIL AGENDA

DATE: 2024.01.09

LOCATION: Council Chambers – City Hall

TIME: 6:00 p.m.

413 Fourth Street, Kaslo

1. Call to Order

2. Adoption of the Agenda

2.1 Adoption of the Agenda for the 2024.01.09 Council Meeting

3. Adoption of the Minutes

3.1 Adoption of the Minutes of the 2023.12.12 Council Meeting

4. Delegations

5. Information Items

5.1 Council Reports

5.1.1 Mayor's Report

5.2 Committee Minutes

5.3 Staff Reports

5.3.1 CAO Report

5.3.2 2023 Board of Variance Report

5.3.3 Summary of Council Appointments

5.4 Correspondence

5.4.1 2023.12.11 from UBCM re: 2021 CRI

5.4.2 2023.12.12 from Kaslo Jazz Etc. Society re: 2024 Jazz Fest

5.4.3 2023.12.20 from Ministry of Public Safety and Solicitor General

5.4.4 2023.12.21 from Ministry of Housing

5.4.5 2023.12.30 from F Geche re: Rats

5.4.6 2023.12.30 from F Lachapelle re: Rats

5.4.7 2023.12.30 from R Hewat re: Rats

5.4.8 2023.12.30 from T Jess re: Rats

5.5 2024.01.09 Circulation Package

6. Question Period

7. Business

7.1 South Beach Development Proposal

To receive information regarding QP Development's proposal for lands known as South Beach.

7.1.1 Public Info Session Summary Report from CTQ

7.1.2 2023.12.13 from D. Roberts/E. Mattas

7.2 2024.01.03 from R. Dunnett/T. Wallace re DVP 2023-15

To consider correspondence related to Development Variance Permit 2023-15 (Kaslo Community Services).

7.3 Development Variance Permit Application 2023-14 (Koen)

To consider a Development Variance Permit application for the property located at 426 Washington Street to allow a carport in the front yard and reduce the required front yard setback.

7.4 Development Permit Application – 331 Front Street

To consider a Heritage and Commercial Core Development Permit application for the “1896 Building” located at 331 Front Street.

7.5 Appointment of Auditor

To confirm Council’s appointment of the municipal auditor for the 2023 fiscal year

7.6 Officer Appointments

To confirm the appointment of Linda Tynan as the Village’s Approving Officer and Chief Financial Officer.

7.7 Community Development Program Grant Application – Kaslo Baseball & Softball Association

To consider a request from the Kaslo Baseball & Softball Association for Community Development grant funding.

8. Late Items

9. In Camera Meeting

10. Raised from In Camera Meeting

11. Adjournment





REGULAR MEETING OF COUNCIL MINUTES

DATE: 2023.12.12

LOCATION: Council Chambers – City Hall

TIME: 6:00 p.m.

413 Fourth Street, Kaslo

PRESENT:	Chair:	Mayor Hewat
	Councillors:	Bird, Lang, Leathwood
	Regrets:	Councillor Brown
	Staff:	CAO Dunlop, CO Allaway
	Public:	7

1. Call to Order

We respect and recognize the First Nations within whose unceded lands the Village of Kaslo is situated, including the Ktunaxa, Sinixt, and Sylix People, and the Indigenous and Metis Residents of our community.

The meeting was called to order at 6:00 p.m.

2. Adoption of the Agenda

2.1 Adoption of the Agenda for the 2023.12.12 Council Meeting

337/2023 Moved, seconded and CARRIED

THAT the Agenda for the 2023.12.12 Regular Meeting of Council be adopted as presented.

3. Adoption of the Minutes

3.1 Adoption of the Minutes of the 2023.11.28 Council Meeting

338/2023 Moved, seconded and CARRIED

THAT the Minutes for the 2023.11.28 Regular Meeting of Council be adopted as presented

339/2023 Moved, seconded and CARRIED

THAT Council dissolve into Committee of the Whole to receive information and questions from the public.

4. Delegations – Nil

5. Information Items

5.1 Council Reports

5.1.1. Mayor's Report – *Mayor Hewat provided written reports on her recent activities.*

5.2 Committee Minutes

5.2.1. 2023.11.27 Accessibility Committee Minutes – Draft

5.2.2. 2023.11.27 Health Advisory Committee Minutes – Draft

5.2.3. 2023.12.05 Asset Management Committee – Draft

5.3 Staff Report

5.3.1. CAO Report – CAO Dunlop provided an update on municipal projects and operations.

5.3.2. 2024 Draft 5-year Financial Plan & Asset Management Update – CAO presented information about the draft 2024 budget and the asset management project.

5.4 Correspondence

5.4.1. KORTS – Winter Solstice Celebration

5.4.2. RDCK – 2024 REDI Grant Program

5.4.3. 2023.11.28 S. Mutter – Provincial Bills 44, 46 & 47

5.4.4. 2023.12.04 J. & D. Apple – Baseball Park

5.5 2023.12.12 Circulation Package

6. Question Period

Members of the public asked questions about agenda items 5.4.3 and 7.1.

340/2023 Moved, seconded and CARRIED
THAT Council rise without reporting from Committee of the Whole.

7. Business

7.1 Zoning Amendment Bylaw No. 1298, 2023 (QP Developments)

341/2023 Moved, seconded and CARRIED (Councillor Lang recorded as opposed)
THAT decisions regarding further readings for Zoning Amendment Bylaw 1298, 2023 be referred to the 2024.01.09 Council Meeting.

7.2 Bylaw 1299, 2023 – Kaslo and Area D Arena Property Reserve Amendment

342/2023 Moved, seconded and CARRIED
THAT Kaslo and Area D Arena Property Reserve Amendment Bylaw 1299, 2023 be adopted.

7.3 Fees & Charges Bylaw 1300, 2023

343/2023 Moved, seconded and CARRIED
THAT Fees and Charges Bylaw 1300, 2023 be adopted.

7.4 Development Variance Permit Application 2023-14 (Koen)

344/2023 Moved, seconded and CARRIED
THAT consideration of the Development Variance Permit Application DVP 2023-14 (426 Washington Street) be referred to the 2024.01.09 Council Meeting.

7.5 Development Variance Permit Application 2023-15 (Kaslo Community Services)

345/2023 Moved, seconded and CARRIED



THAT Development Variance Permit DVP2023-15 be approved to vary the requirements of Land Use Bylaw 1130 for the property located at 336 B Avenue (PID 029-612-594) as follows:

- 1. To reduce the easterly side yard setback from 4.5 metres to 1.6 metres for the proposed addition, and**
- 2. To reduce the number of required off-street parking spaces for the office and residential use from 7 to 3, and**

THAT Kaslo Community Services enter into an agreement with the Village to pave and maintain that portion of the boulevard on B Avenue in front of their property for angled parking with a signed restriction that overnight parking be prohibited.

7.6 Acting Mayor Appointments

346/2023

Moved, seconded and CARRIED

THAT the Village of Kaslo's Acting Mayor for the period January 1, 2024 through December 31, 2024 be as follows:

Councillor Bird: Jan

Councillor Brown: Feb, Mar, Apr

Councillor Lang: May, Jun, Jul

Councillor Leathwood: Aug, Sept, Oct

Councillor Bird: Nov, Dec

7.7 Reserve Transfers

347/2023

Moved, seconded and CARRIED

THAT Council approve the following net reserve transfers:

- *Transfer to the Parks and Recreation Capital Reserve* \$24,480.55
- *Transfer to Carbon Offset Reserve* \$48,082.00
- *Transfer from Carbon Offset Reserve* \$25,344.00
- *Transfer to Aerodrome Reserve* NIL
- *Transfer to Kaslo and Area D Arena Property Reserve* \$111,467.35
- *Transfer from the Kaslo and Area D Arena Property Reserve* \$36,791.02
- *Transfer to Transportation Reserve* \$5,000.00
- *Transfer to Sewer Capital Infrastructure Reserve* \$34,176.35
- *Transfer to Water Capital Infrastructure Reserve* \$124,793.85
- *Transfer to the Library Building Reserve Fund (donations)* \$40,100.00
- *Transfer to the Cemetery Care reserve will be completed at year-end based on the statutory requirements and actual revenue for the year. The amount is currently \$3,500.*
- *Transfer to the Sick Leave Reserve to reach the payout amount to balance to payout amounts at year end. This will be confirmed by the Auditor if required.*
- *Transfer to Community Works Reserve (total received)* \$105,304.50



- *Transfer from Community Works Reserve* \$87,732.08
- *Transfer from the Parks and Recreation Reserve* \$18,453.00
- *Transfer to the Kemball Memorial Centre Reserve Fund (budgeted)* \$10,000.00
- *Transfer to the City Hall National Historic Site Reserve Fund (budgeted)* \$5,000.00
- *Transfer to the Equipment Reserve (budgeted)* \$21,099.00

7.8 Accessibility Grant Application

348/2023

Moved, seconded and CARRIED

THAT the Village of Kaslo request a grant from Disability Alliance BC to fund additional staff capacity to support the work of the Accessibility Committee, including development of a draft Accessibility Plan for the Village of Kaslo.

7.9 Community Development Program Grant Application – Kaslo Baseball & Softball Association

349/2023

Moved, seconded and CARRIED

THAT consideration of the Kaslo Baseball & Softball Association’s request be referred to the 2024.01.09 Council meeting.

7.10 Request for Support – Winter in the Forest

350/2023

Moved, seconded and CARRIED

THAT the Village submit an application for grant funding to offset the cost of the 2024 Winter in the Forest event; and,

THAT the Village provide in-kind assistance from the Public Works crew to prepare the site.

7.11 Request for Grant-in-Aid – Langham Polar Bear Plunge

351/2023

Moved, seconded and CARRIED

THAT the Village provide a grant-in aid to the Langham Cultural Society to offset the cost of renting Kaslo Bay Park and associated fees for the Kaslo Polar Plunge on January 1, 2024.

8. Late Items – Nil

9. In Camera Meeting

352/2023

Moved, seconded and CARRIED

THAT Council now recess and reconvene in-camera with the public excluded under Sections 90(1) (a),(e), (j) and (k) of the Community Charter.

The open meeting recessed at 7:28 p.m.

The open meeting reconvened at 8:56 p.m.



10. Raised from In Camera Meeting

10.1 Insurance Renewal

IC131/2023 Moved, seconded and CARRIED

THAT the Village renew its 2024 Equipment, Crime, Property and Aerodrome Liability insurance with Acera Insurance Services Ltd. for a total premium of approximately \$130,839.

IC132/2023 Moved, seconded and CARRIED

THAT the Village renews its 2024 Municipal Insurance Program with Municipal Insurance Association of British Columbia for liability premium of approximately \$9,922 plus fees for Casual Legal Advice and Associate Membership subscriptions.

10.2 CTQ – South Beach Land Transaction

IC133/2023 Moved, seconded and CARRIED

THAT the Village acknowledge receipt of the offer from CTQ Consultants on behalf of QP Developments Inc to purchase Village land and road allowances and counter that it is too low and must not consider lands that the developer would be required to dedicate to the Village under subdivision at no cost; and,

THAT staff is directed to obtain legal advice on the disposition of land to QP Developments Inc under these circumstances.

10.3 Kaslo Racquet Club Insurance

IC134/2023 Moved, seconded and CARRIED

THAT the Kaslo Racquet Club be advised that their request to become an Associate Member of the Municipal Insurance Association of BC cannot be met.

10.4 Kaslo River Project

IC135/2023 Moved, seconded and CARRIED

THAT Council approves issuing a purchase order to BBA Engineering Ltd. with an upset limit of \$26,135 for tender support, project management, permit approvals, and field engineering services for the Kaslo River Dike and Bank Remediation Project (Section 3).

IC136/2023 Moved, seconded and CARRIED

THAT Council approves issuing a purchase order to Brenton Industries Ltd. with an upset limit of \$70,000 for construction of the Kaslo River Dike and Bank Remediation Project (Section 3).

IC137/2023 Moved, seconded and CARRIED



THAT the Chief Administrative Officer be authorized to make adjustments to these purchase orders and other procurement matters related to the Kaslo River Dike and Bank Remediation Project (Section 3) within the project budget of \$106,300.

11. Adjournment

The meeting was adjourned at 8:56 p.m.

CERTIFIED CORRECT:

Corporate Officer

Mayor Hewat

DRAFT





Mayors Report

Regular Council Meeting

Tuesday, January 9, 2024

The following is a summary of the meetings and/or events that I have participated in since my last written report as well as a list of upcoming meetings and events.

December 5 Kaslo Seniors Christmas Luncheon
Langham 50th Anniversary Committee meeting

December 6 Asset management Committee

December 8 Imagine Kootenay Zoom meeting
Kaslo and Area Chamber of Commerce Christmas Party

December 11 Kaslo & Area D Economic Development Commission

December 12

RDCK Community Sustainable Living Advisory Committee

Meeting Dates set for the year:

February 13, 2024 • April 16, 2024 • June 11, 2024 • August 13, 2024 • October 15, 2024 • December 10, 2024

Regular Meeting of Council

December 13 RDCK Joint Resource Recovery

December 14 RDCK Board

There were several resolutions passed that apply to all directors/areas.

That the Board approves the following Directors as delegates to the 2024 Local Government Leadership Academy Forum in Richmond, BC from January 31 - February 2, 2024 with stipends and expenses to be paid from the General Administration Service S100.

That the Board approves the following Directors as delegates to the 2024 Federation of Canadian Municipalities Conference in Calgary, Alberta from June 6-9, 2024 with stipends and expenses to be paid from the General Administration Service S100.

That the Board approves the following Directors as delegates to the 2024 Union of BC Municipalities (UBCM) Conference in Vancouver, BC from September 16-20, 2024 with stipends and expenses to be paid from the General Administration Service S100.

That the Board adopt the 2023-2026 Regional District of Central Kootenay Strategic Plan.





Mayors Report

That the Community Works Fund application submitted by the Kaslo Baseball and Softball Association for the project titled “Murray Pearson Memorial Field Renovations” in the amount of \$20,000 be approved and that funds be disbursed from Community Works Funds allocated to Electoral Area D.

That the Board appoint the following individual to the Kaslo and Area D Economic Development Commission for a term to end December 31, 2025:

Donna Cormie (Area D)

That the Board forward the following nomination to Columbia Basin Trust (CBT) to be considered for the RDCK representative position on the CBT Board of Directors for a term to expire December 31, 2025:

Director S. Hewat

That the Board appoint the following Directors to the 2024 Parcel Tax Roll Review Panel to sit in Nelson, BC with stipends and usual expenses to be paid from the General Administration Service S100:

Director S. Hewat

Director T. Newell

Director W. Popoff

Director H. Cunningham

Long service awards presented to staff members ranging from 5 years to 35 years.

December 18 Meeting with Linda Tynan and Councillor Leathwood regarding the CAO Recruitment process.
WKBRHD Executive Committee Meeting
Kaslo Search & Rescue Holiday Party

December 19 Kaslo & Area Chamber of Commerce meeting

January 2 2 CAO candidate interviews

January 3 2 CAO candidate interviews

January 4 1 CAO candidate interview

Upcoming Meetings

January 8 United Church 1st Launch Pad Coaching meeting
Library Fundraising Committee meeting

January 9 Regular Meeting of Council

January 10 Langham 50th Anniversary Committee

January 15 North Kootenay Lake Services Committee
Kaslo & Area D Economic Development Committee
Health Advisory Committee





Mayors Report

- January 17 Joint Resource Recovery
- January 18 RDCK Board
- January 19 RDCK Budget
- January 23 Regional Invasive Species Working Group
- January 24 RDCK Climate Action Workshop
West Kootenay Boundary Regional Hospital District
- January 25 Workshop: New Emergency Management and Disaster Management Act Feedback
- January 26 & 27
CBT Board meetings in Fruitvale (potential)
- January 30 to February 3
LGLA Forum in Richmond

Respectfully submitted,
Mayor Suzan Hewat





REPORT TO COUNCIL

PREPARED BY: Catherine Allaway, Corporate Officer

DATE: January 5, 2024

SUBJECT: Board of Variance Annual Report

PURPOSE: To provide a year-end report to Council regarding activities undertaken by the Board of Variance, in accordance with section 5(4) of the Village of Kaslo Board of Variance Bylaw No. 1166, 2015.

SUMMARY:

Applications

There were no applications made to the Board of Variance in 2023.

Membership

All positions are currently filled, by David Russell, Daphne Hunter and Rick Nay.



REPORT TO COUNCIL

PREPARED BY: Catherine Allaway, Corporate Officer

DATE: January 5, 2024

SUBJECT: 2024 Council Appointments

As of January 1, 2024 individual Council members are appointed as shown in the following table. Council may make changes to the appointments, by resolution, at any time.

Regional District of Central Kootenay	Representative (Alternate)
Village of Kaslo Director	Mayor Hewat (Councillor Lang)
West Kootenay Boundary Regional Hospital Board	Mayor Hewat (Councillor Lang)
Kaslo & Area D Economic Development Commission	Mayor Hewat, Councillor Lang

Council Committees	
Accessibility Committee	Mayor Hewat, Councillor Leathwood
Art & Heritage Committee	Mayor Hewat, Councillor Leathwood
Asset Management Committee	Mayor Hewat, Councillor Lang
CAO Hiring Committee	Mayor Hewat, Councillor Leathwood
Events Committee	Mayor Hewat, Councillor Leathwood
Health Advisory Committee	Mayor Hewat, Councillor Bird
Library Building Committee	Mayor Hewat, Councillor Bird
Liquid Waste Monitoring Committee	Mayor Hewat, Councillor Lang
Recreation Grants Committee	Mayor Hewat, Councillor Bird

External Appointments	
Central Kootenay Invasive Species Society Working Group	Mayor Hewat
Kaslo & District Arena Association Board	Councillor Leathwood
Kaslo & District Community Forest Society Board	Councillor Brown
Kaslo & District Public Library Board	Councillor Leathwood
Kootenay Lake Partnership	VACANT
Ktunaxa Kinbasket Treaty Advisory Committee	Councillor Brown (Mayor Hewat)

December 11, 2023

Mayor Suzan Hewat and Council
Village of Kaslo
413 Fourth Street, PO Box 576
Kaslo, BC V0G 1M0

Reference: CRI-398

RE: 2021 CRI FireSmart Community Funding & Supports – Payment Letter
(2021 Wildfire Resiliency Program)

Dear Mayor Hewat and Council,

Thank you for submitting final report documentation for the above noted Community Resiliency Investment project. The CRI Working Group has reviewed your submission and the reporting requirements have been met.

The final report notes total project costs of \$65,999.23. Based on this, payment in this amount will follow shortly by electronic funds transfer. This represents full payment for the project and is based on one hundred per cent (100%) of total eligible costs to the grant maximum.

On behalf of the Working Group, I congratulate you on the successful completion of this project and offer best wishes for future community safety work in your community.

If you have any questions, please contact Community Resiliency Investment at 250-356-7123 or cri@ubcm.ca

Sincerely,



Lynsay Pacey, Program Officer

cc: *Ian Dunlop, CAO*
Grace Kyle, Prevention Specialist, Southeast Fire Centre

The Community Resiliency Investment program is funded by the Province of BC

KASLO JAZZ ETC. SOCIETY



T/F (250) 353-7577
www.kaslojazzfest.com
Box 1293, Kaslo, B.C., Canada, V0G 1M0
info@kaslojazzfest.com
kaslojazzfest.com

#S-30170

Dec 12th 2023,

Dear Village of Kaslo Mayor, Council, and Staff,

I'm writing to let you all know that we are planning to announce the 2024 Kaslo Jazz Etc Festival tomorrow, December 13th, and put the first batch of tickets on-sale this Friday, Dec 15th. The event will be held Aug 2 – 4, 2024 as per our multiyear agreement for Kaslo Bay Park use.

In the new year, I will be submitting all necessary applications for camping, beer garden, noise bylaws, road closures, etc. but in the meantime I wanted to give you a head's up about our announcement and ticket on-sale this week, so that no one is caught by surprise. As we are a registered charity, I'm sure you can understand that ticket sales directly fund our year round operations. Having tickets go on-sale now gives us the financial stability to begin planning for a smooth and successful event in 2024.

If you have any questions or concerns, please feel free to call me at (250) 505 5880

Paul Hinrichs
Executive / Artistic Director
Kaslo Jazz Etc Society



VIA EMAIL

Ref: 63760

December 21, 2023

Ian Dunlop
Chief Administrative Officer
Village of Kaslo
Email: cao@kaslo.ca

Dear Ian Dunlop:

I am writing to notify you of the funding allocation for the Village of Kaslo from the \$51 million capacity funding for local government implementation of the legislative changes to support housing initiatives, including small-scale multi-unit housing and proactive planning, development finance, and transit-oriented development.

The Village of Kaslo will receive \$154,605 by the end of January 2024.

The funding formula reflects the different legislative requirements for municipalities and regional districts, and that smaller communities may need more financial assistance because they have fewer resources.

The funding formula includes a base amount and a per-capita amount (based on BC Stats 2023 estimates).

- For municipalities, the base amount is \$150,000, and the per-capita amount is \$4.39.
- For regional districts, the base amount is \$80,000 and the per capita amount is \$5.80.

This funding is intended to support activities or projects local governments must undertake to meet the new legislative requirements. Examples include updates to an existing zoning bylaw, parking bylaw, Official Community Plan (OCP), Official Development Plan (ODP), Development Cost Charge (DCC) bylaw, Development Cost Levy (DCL) or

.../2

Housing Needs Report (HNR), as well as the development of a new zoning bylaw, OCP, ODP, DCC, DCL or new amenity cost charge (ACC) bylaw. This funding can also be used to hire staff and/or consultants in support of these activities. More specific information on eligible projects, eligible project costs as well as the reporting requirements will be provided in the funding guidelines when the funding is distributed.

If you have any questions regarding the legislative changes or funding program, please contact Ministry of Housing staff at PLUM@gov.bc.ca or 250-387-3394.

Yours truly,



Bindi Sawchuk
Assistant Deputy Minister
Housing and Land Use Policy Division
Ministry of Housing

pc: Teri Collins, Deputy Minister, Ministry of Housing
Tracy Campbell, Executive Financial Officer, Ministry of Housing
Kaye Krishna, Deputy Minister, Ministry of Transportation and Infrastructure
Okenge Yuma Morisho, Deputy Minister, Ministry of Municipal Affairs
Tara Faganello, Assistant Deputy Minister, Ministry of Municipal Affairs
Kevin Volk, Assistant Deputy Minister, Ministry of Transportation and Infrastructure
Jessica Brooks, Executive Director, Ministry of Housing
Rebecca Penz, Director, Ministry of Housing

From: [Fawn Geche](#)
To: [Karissa Stroshein](#)
Subject: Rats
Date: December 30, 2023 1:09:21 PM

Hello Village of Kaslo,

I feel like it is time that the Village takes part in helping in the eradication of the rats that have become a huge problem here in Kaslo and surrounding areas.

I know, for many, the cost of buying the amount of rats traps needed to put a stop to the problem on their property isn't something they can afford. I know of other communities that supply their tax payers large, heavy duty traps to help keep their towns as rat free as possible. And I am wondering if this is something our Village counsel is willing to look into. I feel like if we don't act soon we will have a problem a lot larger than any of us really realize. This is something I fully support my tax dollars going towards.

Thank you for taking the time to read this email.

Fawn Geche

Sent from my iPhone

From: [France Bs9052](#)
To: [Karissa Stroshein](#)
Subject: Community Rat problem
Date: December 30, 2023 1:37:04 PM

To whom it may concern,

There is a major rat problem throughout the community of Kaslo and I would like this issue to be add on the agenda for discussion at the next meeting in January 2024.

Thank you

Beat regards,

France Lachapelle
Sent from France I-Phone :•)

From: [Rick Hewat](#)
To: [Karissa Stroshein](#)
Subject: Rat issue in Kaslo
Date: December 30, 2023 5:01:09 PM
Attachments: [Rat type info.pdf](#)
[bmp_rodent_ipm_for_public.pdf](#)

I am writing to council concerning the growing rat issue in Kaslo. Our community is not alone in battling rats as both Nelson and New Denver-Silverton have been dealing with rats for the past few years. It was inevitable that they would arrive and cause issues in Kaslo. I have personally caught 10 rats since May of 2023. They consisted of 9 Norwegian Rats and one Pack rat. This would not be considered normal for Kaslo. I am aware of other residents that have caught Roof rats, indicating that we have both invasive species in Kaslo. See pdf attached titled "Rat type info" for quick easy rat identification.

Pack rats are indigenous to our area and ebb and flow in number and can usually be dealt with by relocation. Norway and Roof rats are invaders and breed prolifically as well as carry disease and sickness. I am no expert in rats but merely what I have gleaned in dealing with them since the spring through my own education. I am appealing to council to take this issue seriously and to lead a community wide strategy to deal with this problem. I have attached a pdf from the Province of BC concerning Integrated Pest Management for Rodents: A Guide for Residents

One issue that has come up in conversation concerns rodent poisons. BC has banned all type of rodenticide other than for those deemed "essential services". Below is a link to the news of this happening. There are still cellulose based "poisons" that dessicate a rat once ingested after 3 or so feedings. There is no chance of secondary poisoning as with any rodenticide type of poison.

[Second-generation anticoagulant rodenticide \(SGAR\) use in British Columbia - Province of British Columbia \(gov.bc.ca\)](#)

I have attached various links from news articles to information pieces that are from what I deem as reliable sources.

<https://wildsafebc.com/species/rats/>

[Rat & Pest Patrol New Denver / Silverton / and Area | Facebook](#)

[COLUMN: Rat population making further inroads in Nelson - Nelson Star](#)

The main issue is to get as many residents on board as possible so we can ensure we stay ahead of the rat issue. As with any community, opinions will vary as to what action, if any, need be taken. It would be very helpful to see the Village of Kaslo take a leadership role in aiding the fight. Perhaps there will be less contention between residents with the VOK involved via sponsorship of professionals in this area that can help direct residents as to how best deal with these pests. As well, reaching out to other similarly affected communities and the RDCK, via official channels may be beneficial in helping formulate a strategy.

I believe we need to move forward as soon as possible to coalesce efforts to fight the spread of the rat. Please consider this an item to put on the agenda for the upcoming council meeting for discussion.

Yours truly,

Rick Hewat



Kaslo, BC



Norway Rat

Size:
9-10 inches long



Color:
Coat: Black or brown and belly, gray or brown underside. **Paws:** white,

Region: Through out the U.S, particularly in the Northeast, Midwest, and southwest.

Roof Rat

Size:
5-8 inches long



Color:
Coat: Black, medium or light brown with a lighter underside. **Paws:** white,

Region: Most common in coastal areas and tropical climates they can also adapt to colder weather.

Woodrat

Size:
varies depending on their location.



Color:
Coat: Typically grayish-brown. **Paws:** white. **Appearance:** large ears and big black eye

Region: Common in Western North America, ranging from arctic Canada to the deserts of Arizona and New Mexico.

Marsh Rice Rat

Size:
13 inches long



Color:
Coat: Usually gray to grayish brown. **Paws:** white,

Region: Florida Keys and the Gulf Coast. Their natural habitats range from the eastern U.S to Texas.

From: [terrijess](#)
To: [Karissa Stroshein](#)
Subject: RATS
Date: December 30, 2023 4:24:24 PM

Good day.

With all the talk and sighs about the over population of RATS in town,
we all hope you can do something about the BIG problem.

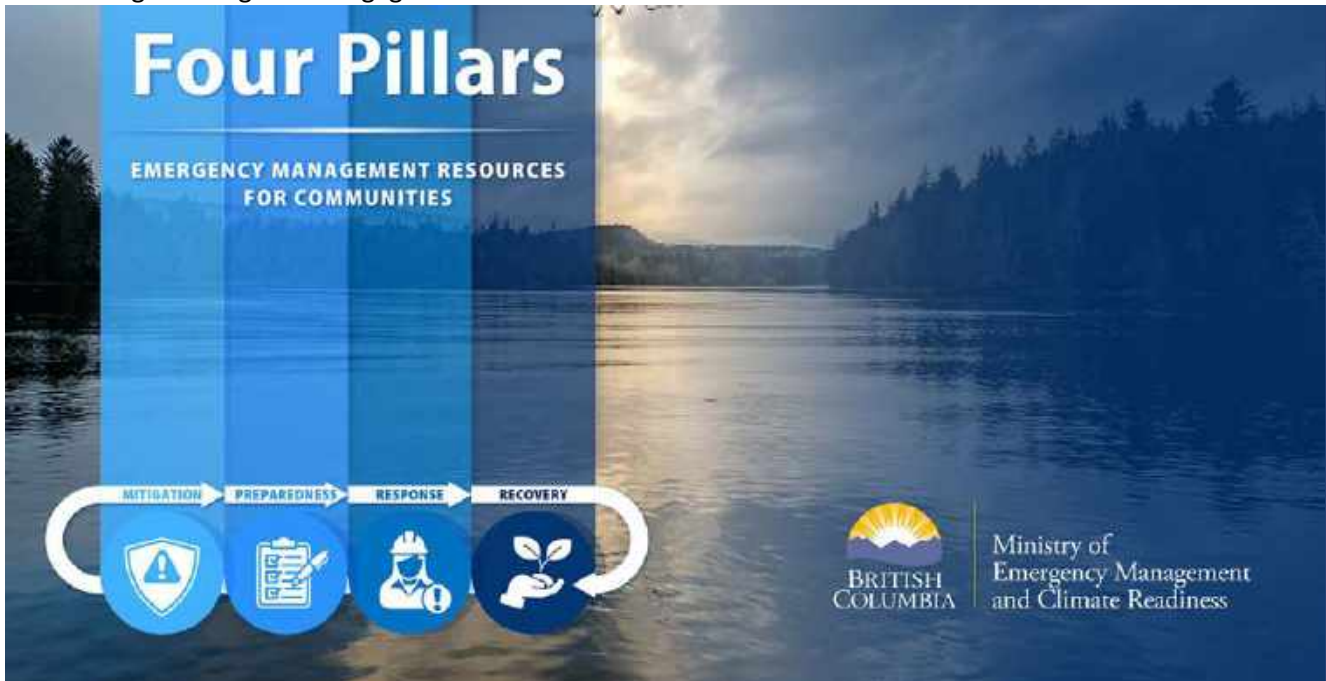
Thank you.

From: EMCR Community Newsletter <emcr.communications@news.emcr.gov.bc.ca>

Sent: Friday, December 15, 2023 10:21 AM

To: Karissa Stroshein <admin@kaslo.ca>

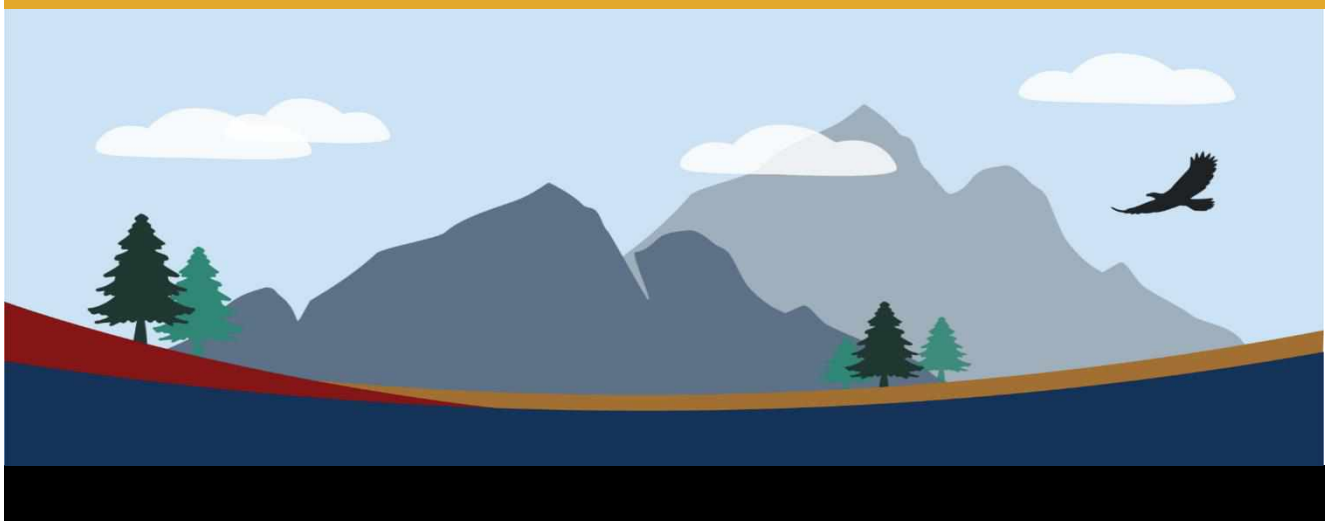
Subject: Funding for Indigenous engagement



[View online](#)

Last month the **Emergency and Disaster Management Act** came into force, replacing the Emergency Program Act. Under the new legislation, people and communities are safer and better prepared for the increasingly severe emergencies and disasters the province is experiencing due to climate change.

The new act also provides First Nations and local governments with more tools and guidance to better prepare for and respond to emergencies. This includes establishing agreements between First Nations and other authorities to help advance shared decision-making and co-ordinations.



Funding for Indigenous engagement

The Province is providing funding to municipalities, regional districts and First Nations to support consultation and collaboration activities through the [Indigenous Engagement Requirements Funding Program \(IERFP\)](#).

Guided by the United Nations Sendai Framework for Disaster Risk Reduction and [B.C.'s Declaration on the Rights of Indigenous Peoples Act](#), the legislation includes engagement provisions that require municipalities and regional districts to consult and co-operate with Indigenous governing bodies and incorporate Indigenous knowledge and cultural safety across emergency management practices.

This new funding program is intended to:

- support relationship-building across jurisdictions through consultation and co-operation with Indigenous governing bodies;
- ensure the incorporation of Indigenous knowledge and cultural safety across emergency management practices;
- support policy improvements that reflect the lived experience of Indigenous Peoples; and
- address the disproportionate impacts on Indigenous Peoples during emergency events.

No application is required to access funding. First Nations, regional districts and municipalities will be contacted with more information in early 2024.

For program inquiries contact EMCR.IERFunding@gov.bc.ca



Deadline extended for regulations input

There's still time to help inform development of regulations under the new Emergency and Disaster Management Act.

[Feedback](#) on post-emergency financial assistance (disaster financial assistance), and regulations for local authorities are still being accepted until January 31, 2024.

Sessions for First Nations Rights and Title Holders will take place in January.

To learn more, email ModernizeEM@gov.bc.ca .



Key changes for local authorities

Some powers and duties under the Emergency Disaster Management Act are now in effect, such as:

- expanding state of local emergency periods to 14 days from seven days;
- local authorities ability to declare recovery periods, which allows for the use of select powers during the recovery phase such as limiting access to areas that continue to be dangerous to the public after a state of local emergency has ended;
- creating and/or joining a multijurisdictional emergency management organization; and
- requirement to make reasonable efforts to reach agreement with Indigenous governing bodies related to areas for consultation and cooperation in the response and recovery phases.

Other requirements such as those related to business continuity plans, risk assessments, and emergency management plans will be brought into force through regulation.

Visit the [modernized emergency management legislation website](#) for more resources.



Strengthening climate resilience

To help communities strengthen resilience against climate-related hazards, the Province is providing support to First Nations and local authorities through the Community Emergency Preparedness Fund.

Recently funded projects include:

- river and canal-level sensors to monitor flood-protection infrastructure and flood hazard assessment for the City of Richmond;
- new dikes to mitigate against flooding for the City of Merritt and Town of Golden;
- a climate action plan, including disaster risk reduction for the City of Rossland;
- an assessment of flood and landslide risk for Fraser Fort-George Regional District; and
- a geohazard workshop for the Peace River Regional District.

The next application deadline is March 28, 2024. Visit the [Disaster Risk Reduction Climate Adaptation website](#) for more information.



New climate-resilient bridges completed

Movement of people and goods along the Coquihalla Highway is more resilient and reliable now that [six new climate-resilient bridges](#) have been completed ahead of schedule. This highway is one of many significantly damaged during the 2021 atmospheric river event.

Visit [B.C. Highway Flood Recovery projects](#) for more updates.



EmergencyInfoBC information expanded

Indigenous governing bodies and local authorities can now add emergency warming centres, public warming spaces and Emergency Support Services (ESS) reception centres to a centralized database to help people find these resources during emergency events.

Information added by communities will appear on the [province-wide emergency map](#) and will be amplified on [EmergencyInfoBC](#), [@EmergencyInfoBC](#) and associated social media channels.

Contact your regional representative at your [local EMCR regional office](#) for Community Response Locations Portal log-in credentials, information or to provide feedback.



Support for people during winter conditions

Resources are available to help ensure people in B.C. are prepared and supported during times of storms and extreme cold.

Check out the new [winter weather and storm preparedness guide](#) from PreparedBC, available in multiple languages.

Explore the [new extreme cold and winter storms page](#) on ClimateReadyBC, to find information and funding opportunities to support your community.

Other provincial supports during winter conditions include:

- funding for cold-weather preparedness and response at 22 friendship centres;
- reimbursements to local authorities and First Nations for opening emergency warming centres during extreme weather;
- emergency shelter spaces made available through BC Housing; and
- funding for the United Way of B.C. to develop a cold-weather emergency preparation guide for not-for-profit organizations.



Wildfire 2023 financial assistance deadline

January 7, 2024 is the deadline to apply for [Disaster Financial Assistance \(DFA\)](#) for Indigenous governing bodies and local authorities adversely affected by wildfires during the 2023 season.

Communities can apply for eligible disaster-related losses that are not covered by insurance, such as wildfire damage to infrastructure – including roads, bridges and other publicly-owned infrastructure.

For additional information email DFA.Public@gov.bc.ca.



Resources for people with disabilities

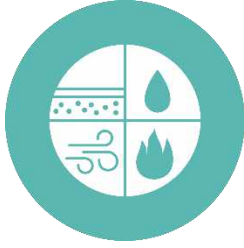
The annual [International Day for Persons with Disabilities \(IDPD\)](#) was held on December 3. It's a reminder that those with a disability may need to take additional emergency preparedness actions. The PreparedBC [resources for people with disabilities guide](#) can help get people started.



Funding Information

Upcoming deadlines

- **Ongoing:** [FireSmart](#)
- **December 19:** [Food Security Emerg. Planning & Prep.](#)
- **January 7:** [Wildfire Disaster Financial Assistance](#)
- **January 26:** [ESS Equipment & Training](#)



- **January 31:** [2023 Wildfire & Drought Recovery Initiative](#)
- **February 23:** [EOCs Equipment and Training](#)

Tools and resources

- PreparedBC's [winter weather and storms guide](#)
- ClimateReadyBC's [extreme cold and winter storms page](#)
- Contact your [regional office](#) to add your community's emergency warming centres, public warming spaces and Emergency Support Services (ESS) reception centres to [EmergencyInfoBC](#)



Connect with us

- Emergency and Disaster Management Act regulations engagement sessions with First Nations Rights and Title Holders will occur in January. Contact ModernizeEM@gov.bc.ca to learn more.

If you have received this by way of forward, **subscribe here.**

Contact EMCR.Communications@gov.bc.ca if there is something you would like to see included in this newsletter.

We acknowledge with respect that Emergency Management and Climate Readiness operates throughout British Columbia on the traditional territories of Indigenous Peoples. We invite you to learn which territories you work/live on and how to respectfully acknowledge the land.

SHARE THIS EMAIL & FOLLOW US



Unsubscribe from future communications

Honourable Mike Farnworth
PO Box 9041 Stn Prov Govt
Victoria, BC V8W 9E1

November 29, 2023
SWD.Minister@gov.bc.ca
Charlotte.Hunt@gov.bc.ca

Dear Minister Farnworth,

Over the last few years, Fort St. John and many other communities have experienced increases in criminal activity and social disorder. In part, this deterioration has related to drug addiction and mental illness. It has also related to the apparent inability of the justice system to hold anyone accountable in a meaningful way.

There are many consequences to this decay and one of them has been that more people are advocating for actions that could be described as vigilante, or extrajudicial. This reflects a growing lack of faith that the system is still viable and that the institutions of law and order are still effective. There is growing frustration at unchecked property crime and the experience of watching formerly safe neighborhoods decay. It is demoralizing to watch the revolving door of arrests and releases and overdose deaths. It seems to many in our community that the pendulum has swung far away from the rights of society. People have been communicating with us in increasingly desperate terms, expressing fear and a simple desire to return to the peaceful enjoyment of their homes and neighborhoods. They are asking for a system that holds criminals accountable for their actions in an effective way.

This letter is a reaction to a series of events that have caused fear and anger in several parts of our community. One recent example is the Triangle Park neighborhood on 112th Ave, in Fort St. John. It is an established street which boasts a small triangular park with a picnic table and a wonderful set of new playground equipment. It has been a place where many children would stop while walking home from school, or where parents would take their kids to play on a Saturday morning. This park was one thing that gave the Triangle Park neighborhood its identity and made it particularly desirable.

Over the last few years one residence on this formerly quiet street has become the center of violent, frightening, dangerous and unsettling incidents. In the last year there have been two shootings in or at this home. Not long before that, an overdose death occurred on the front doorsteps of the residence. By all accounts this is a place that is obviously involved in the street level drug trade. Activity goes on there night and day. There are countless short duration stops by pedestrians and vehicles, disputes, fights, and assaults. Stolen property often finds its way to the residence and neighbors report being intimidated and frightened while simply getting their mail. No matter what efforts are made by the police, there is no change in the nature and experience of living beside this residence. In part this is because those who are arrested in connection to this home and others like it are usually released.

The latest shooting at Triangle Park originated from within the offending residence. The neighboring home is occupied by a young family with small children. Recently, their home was pierced by a number of bullets in the middle of the night while they were sleeping. They have made the point repeatedly that their children could have been killed. They are right. Police have identified, and we are told, have charged those responsible for the previous shooting but this is scant comfort to anyone. Certainly, it made no difference in preventing the latest shooting.

Lately, Triangle Park is rarely used. Many parents have made the decision to stop spending time there because of the threat posed by those who attend the nearby residence to engage in the drug trade.

While trying to provide reassurance and an effective response to the residents of Triangle Park, we happened upon the Safer Communities Act. Within this Act were a suite of reasonable, and seemingly effective tools that would have been extraordinarily helpful and reassuring to our citizens. The Community Safety Act, might have provided our community with a way to hold the owners of this residence accountable. We might have been able to pursue a process through a Community Safety Order to require the residents of this property to vacate. We might have had the opportunity to go to court to articulate a common-sense solution which would have made it more difficult to be the owner of a residence such as this one. Unfortunately, this Act was never brought into force.

We have explored all options and continue to do so. Frankly though, nuisance and noise bylaws are no substitute for the meaningful support of the Provincial and Federal Government. It is frustrating and disheartening. Our bylaws were enacted to provide solutions to manage conventional municipal problems like un-mowed grass, or loud music. These laws were never designed or intended to manage the impacts of organized crime destroying neighborhoods with impunity.

Having provided this context, the purpose of my letter today is to inquire why the Community Safety Act and the Community Safety Amendment Act were never brought into force. It appears from our review that advocacy on the part of the BC Civil Liberties Association was effective at preventing the enactment of this legislation. Their objections to the proposed legislation seem incredibly indifferent and tone-deaf to the suffering occurring in communities throughout this province.

The BC Civil Liberties association said it believed the proposed law was unnecessary, unjust and would put people's housing security at risk. From our perspective the failure to enact this legislation has put people's housing security at risk. Further, it is both unfair and unjust that our residents should have to leave their homes and flee the violence that has destroyed the character and security of their neighborhoods.

I would implore you to consider where the balance should lie between the rights of our citizens to enjoy a peaceful existence and the rights of those who have destroyed that peace. There is an increasingly prevalent train of thought that there are no consequences for the very worst behavior. Our institutions are threatened by the loss of public faith in their effectiveness. It has become difficult to reassure our citizens that we have the tools to manage these situations. Please consider enacting the Community Safety Act or the Community Safety Amendment Act legislation.

Sincerely,

Lilia Hansen

Mayor Lilia Hansen
On Behalf of Fort St. John Council

cc: MLA Dan Davies



REQUEST FOR COUNCIL DECISION

PREPARED BY: Catherine Allaway, Corporate Officer

DATE: January 5, 2024

SUBJECT: South Beach Development Proposal

PURPOSE: To receive information regarding QP Development's proposal for South Beach.

OPTIONS:

Recommendation is indicated in **bold**. Implications are in *italics*.

- 1. Receive the items for information.**
- 2. Refer back to staff for further review and report.**

RECOMMENDATION:

THAT the Public Information Session Summary Report on QP Development's proposal for South Beach and related correspondence is received for information; and

THAT staff is directed to report back to Council regarding Zoning Amendment Bylaw 1298, 2023.

ANALYSIS:

- A. **Background:** At the 2023.10.10 Council Meeting a rezoning application and development proposal from QP Developments were presented and the following resolution was adopted:

THAT the Village of Kaslo consider QP Development's application to amend the Zoning Bylaw without holding a public hearing.

At the 2023.10.24 Council meeting, Zoning Amendment Bylaw 1298 received first reading. The required Public Information Session was held on 2023.11.29 but the summary report was not submitted to the Village until 2023.12.15. As a result, the following resolution was adopted at the 2023.12.12 Council Meeting:

THAT decisions regarding further readings for Zoning Amendment Bylaw 1298, 2023 be referred to the 2024.01.09 Council Meeting.

- B. **Discussion:** There is a high level of public interest in the South Beach proposal which is complex and requires thoughtful consideration. Due to recent staff transitions additional time is needed to review the proposal before making recommendations to Council.

C. **Attachments:**

- 2023.11.29 Public Information Session Summary Report prepared by CTQ
- 2023.12.13 letter from D. Roberts and E. Mattas re proposed South Beach development

D. **Financial Implications:** Nil

E. **Corporate Priority:** Nil

F. **Environmental Impact:** Nil

G. **Communication Strategy:** Nil

CAO Approval: [Date approved by CAO]



Quality Property Developments Inc – Rezoning Application for Old Sawmill Site, Kaslo, BC

REPORT SUMMARIZING PUBLIC INFORMATION MEETING OUTCOMES

November 29, 2023

This report is provided to the Village of Kaslo as a requirement of the rezoning application to amend the permitted land use from the current M1 (Industrial) zone to: P1 (Park and Open Space); RM1 (Multiple Residential) and C4 (Commercial Recreation – RV Park).

1.0 Awareness of Meeting

The Meeting intent, date/time and location was advertised for the previous weeks before the meeting date as per bylaw requirements. The Notice was posted on at least the following with follow up communication for each, confirming all had been carried out:

- The Valley Voice Newspaper
- Pennywise
- The Kaslo and District Chamber of Commerce Website/Newsletter
- The Village of Kaslo Website
- Direct Invitations to Staff and Council of the Village of Kaslo
- The Legion Hall Officials

2.0 Meeting Location and Details

The Information Meeting was held at the Kaslo Legion Hall on November 29, 2023. The session involved an Open House format advertised to run from 5 pm to 8 pm, with a brief presentation to be held at 6:30 pm. A series of Poster Boards with maps and graphics along with the complete application submission were on display for all meeting participants to view. A power point presentation was used along with presenters from the consulting team and the development proponent. Those individuals included, Dave Cullen, Senior Engineer and Ed Grifone, Senior Planner/Agent from CTQ Consultants Ltd, and Dale Unruh, CEO and President of Quality Property Development Inc. All details and materials are available to the Village. An exit Comment Form was used to solicit feedback. (Attached) Participants were asked to leave to completed forms in a drop box, drop them at the Village Office or submit by email to CTQ Consultants: *attn Ms Anne McTaggart, by December 8.*



3.0 Attendance

It was estimated that the attendance was 43 people with possibly a few more that came and left in advance of the presentation. Several people had the opportunity to discuss the project and asked questions of the consultants and the proponent in advance of and after the presentation. At least the Mayor and one councillor, plus the Village CAO was noted to be in attendance.

4.0 Comment Sheets

The comment sheet included two pages. 16 residents responded, some completed the form, while a few attached further written comments in email versions of their responses. Some referenced that they were responding for two people (likely same household). 8 people identified themselves. Two further respondents contacted the consultant in advance of the meeting date. Questions were answered directly and/or information was provided.

5.0 Topics

A series of 9 topic areas were offered to help participants provide comments or ask questions about the proposed development/rezoning. Generally, they were as follows:

1. Overall Proposed Use of the Land
2. Protection of the Riparian Area along the River
3. Dedicated parkland and Public Trail Connection to the Lakefront
4. Idea of the RV Park as a Seasonal Use Camping Facility
5. The small Residential Area at end of Birch Ave
6. Environmental Impact Concerns that we should address in DPs
7. Flood Mitigation and Controls
8. Infrastructure
9. Other



6.0 Responses

Generally, the responses in support vs objection/non support were as follows:

Support/In Favor - 13

Non-Support/Objections - 3

7.0 Areas of Concern/Questions

1. Proposed Land Use : Although most respondents recognized that (1) the RV Park made sense for the lower lands, (2) there are opportunities for some residential up top and (3) that protection of the River's edge is necessary, issues noted were as follows:

RV Camping/C-4 Zone

- Can we drop the number of sites to 65 or 70
- Desire to have more tent camping included
- Concern for increased population
- Less density to avoid unsightliness
- Feels RVs can be a liability to the municipality, but Tiny homes would not be as people would live there full time
- Desire to have Tiny homes (with wheels)
- Kaslo does not need more RV camping facilities as Municipal Campground barely full
- Storage of RVs not wanted (as year round)
- RV park is a good use of land for short term, but look at long term potential (e.g. housing)

Residential/RM-1

- Desire for more affordable housing, Tiny homes anywhere on site
- Desire for more Tiny homes up top
- Do we have enough water to support growth

Park/Open Space /P1

- Desire for wider protection than the 30 meters from River's edge
- Desire to see Lakefront become a park or protect wider area for public use
- Desire to see River protected with Rip rap
- Keep RVs away from Lakefront
- Desire to see public trail connect to Lakefront

2. Protection of Riparian Area along River

- Was there any idea of a foot bridge over the river at 3rd Street
- More green space desired
- Concern for effect of septic on river
- Rip rap to be paid for by developer
- Wider park strip for access
- Community recreation next to river
- 30 m band should continue along lakefront too
- Take more of the lot for public access
- Thinks flood wall is only 15 from river's edge (concern for intensity of flow)
- Size/length of RV pads could be made shorter along the riverside

3. Dedicated Parkland and Trail Connection

- Need access to lakefront too
- Make lakefront a public park

4. Idea of RV Park for Seasonal Use

- Some people want housing, so how about full year RVs
- Tiny homes instead of RVs
- View impact/unsightliness
- RV versus camping, more space for tent camping (overnight camping/short term?)
- Water and septic use implications
- Concern that RVs are parked and uninhabited most of the year, and still not contributing to the community and housing needs
- Set aside part of the RV park for Tiny homes

5. Residential Area at end of Birch

- Concern that homes, even if only a few, will not address need for affordable housing
- Water availability
- Squeeze in more units

6. Environmental Impact Concerns

- Protect as much as possible
- Protect lakefront
- Ensure septic system will not be affected if flooded
- Make river buffer larger to protect wildlife passage
- Responsibility of protection of river's edge and beach given to the Municipality
- No mention of consultation with local authorities (Ecoscape well aware of all legislation)
- Have soils where mill was located been tested....main concern.
- Animal access to the water must be protected

7. Flood Mitigation and Controls

- Rip rap on south side should not extend any further than it does on the north side. The river in flood should be expected to expand after the rip rap area ends.
- Deal with flood mitigation on the south side as the Village has done on north side

8. Infrastructure

- No major concern for boat launch but protect lakefront for public access
- Road access to be made wide enough to access with large units (or tiny homes on wheels)
- Water availability re fire protection
- Impact on septic system from potential flood

9. Other

- General concern about impact of more part residents , above and beyond the additional tourists
- Questions tourism benefit vs quality of life
- Feeling that Kaslo does not have the resources to support the increase in population
- Impact of traffic and access onto the highway from the site
- Linking public access and green space should be a priority
- Protection of the riverbank riparian zone and (concern for) possible flood damage.

(All written material /forms available upon request , however names of respondents should be kept confidential)

NOTE: The consultants and the proponent are prepared to answer questions or address any concerns to the best of our ability, through the municipality. Specialist consultants can also be called upon to elaborate on detailed information that was provided at the Open House.

Deanstech has already provided comment to the Peer Review conducted for the municipality with regards to the proposed septic system concept.

COMMENT SHEET

Rezoning Application – Public Information Meeting

November 29, 2023

Dear Residents, Property Owners and Businesses:

Please kindly take a few minutes to provide us your comments regarding this development proposal. Although you may have talked to us (Owners, Consultants or Municipal Officials) this evening, do write down your comments in the interest of the community and/or project.

PLEASE familiarize yourself with the information provided here this evening prior to completing your comments.

All inputs collected will form part of a report to the Village for their consideration in reviewing this application.

*****Drop Box is located on the table by the EXIT DOOR.*****

You can also submit your comments by not later than **December 8, 2023** to: amctaggart@ctqconsultants.ca

1. Overall Proposed Use of the Land (RV Camping; Residential; Park/Open Space)

2. Protection of Riparian Area along the Kaslo River

3. Dedicated Park and Public Trail Connection to Lakefront (Currently access is restricted by trespass issue and severe topography)

4. RV Park as a Seasonal Use Camping Facility (Strata and Rental)

5. Small Residential Area at end of Birch Avenue (Townhouse format)

6. Environmental Impact Concerns (River, Lake foreshore or Land, To Address in DP)

7. Flood Mitigation and Controls

8. Infrastructure (Water, wastewater, power, roads/access)

9. Other (Design, Subdivision, Parking, RV Park Management, Lake Access/Dock, Amenities, Connection to Golf Course, etc)

RESIDENT of the Village of Kaslo []Yes []No

THANK YOU !

Invitation to Attend

- INFORMATION MEETING -

Wednesday, November 29, 2023

Rezoning of "Old Sawmill Site"

Dear Madam Mayor and Council Members (The Village of Kaslo):

We are pleased to extend a sincere invitation to you and community members to attend an Information Meeting regarding our proposed Rezoning of lands at the Old Sawmill Site. In keeping with the requirements of the Local Government Act of BC and Village of Kaslo Bylaw #1283, this public Information Meeting will serve to inform the community about the intended development, answer questions and solicit opinion about the project in the interest of the community and the project itself.

Quality Property Developments Inc along with its team of consultants, led by CTQ Consultants Ltd (Engineering, Landscape Architecture and Planning), have worked with Village Administration over the past 2.5 years to ensure all critical development information was addressed. We are now prepared to share the vision and supporting details before moving forward with necessary steps towards full approval. We welcome your input and trust we can answer most of your questions. Any questions that we may not be able to address at the meeting will be brought back to the Planning and Engineering team for their consideration and response. Display materials and maps will be on hand For Review during the Drop-In Session. Comments will be collected in writing.

We look forward to the opportunity of meeting you soon.

Please add the following in your Calendars:

Location: Kaslo Legion Hall

Date: Wednesday, November 29, 2023

Time: 5 PM to 8 PM (Brief Presentation at 6:30)



NOTICE OF DEVELOPMENT PROPOSAL INFORMATION MEETING – Kaslo, BC Former Sawmill Site

Quality Property Developments Inc is inviting interested residents of Kaslo to attend an information meeting regarding a land development proposal and rezoning of property known as the Old Sawmill Site. The rezoning application received First Reading by the Village of Kaslo Council on October 24, 2023. In accordance with the Local Government Act of BC and Village Bylaw #1283, this information session provides an opportunity to residents and nearby property owners to learn about the intended development and land use changes, ask questions of the owners and consultants or make comments in the interest of the community and the project.

The property consists of approximately 30 acres, the majority of which is in the interest of the private owner. Another portion is in the interest of the municipality largely in roadway allowances that have never been used since platting in the 1800s. The rezoning approval will be conditional upon consolidation of these properties. Approximately 15 acres will be subject to development. The current zoning of the subject area is Industrial (M-1) in keeping with its former use as a Sawmill. The Village Official Community Plan designation was amended in 2022 to support Waterfront Development.

The proposed uses include a Strata RV Park for Camping (C-4); Multi-family Residential (RM-1) and Park/Open Space. The concept calls for approximately 80 RV lots, a dedicated park and trail system along the River's riparian area, and 4 to 8 residential units in the upper area near the Golf Course. Options are available for a small boat launch and a golf cart path connecting the RV park to the Kaslo Golf Course.

Numerous studies, planning and engineering has been undertaken by specialist consultants, and feedback solicited from the Village of Kaslo and senior government agencies. All information can be viewed at the information meeting.

Your comments will be accepted and provided as public record to assist in moving the application forward towards an acceptable land use change by the Village.

Location: Kaslo Legion Hall , 403 5th Street

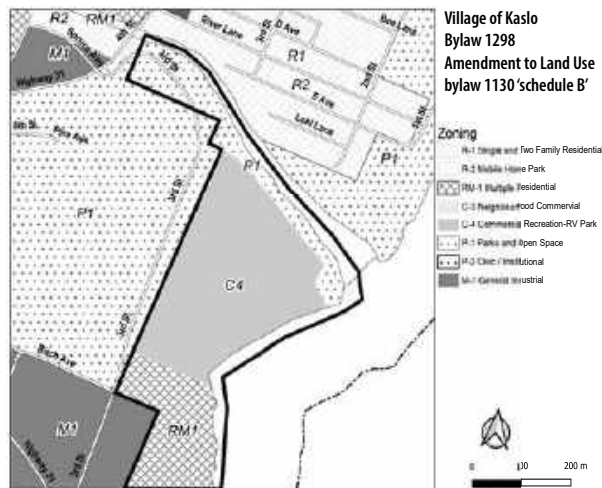
Date: Wednesday, November 29, 2023

Time: 5 PM to 8 PM (Brief Presentation @ 6:30 PM)

PLEASE SEE ATTACHED FIGURE FOR PROPOSED ZONING

Preliminary Enquiries: Ed Grifone, Senior Consultant, CTQ Consultants Ltd, Kelowna, BC

egrifone@ctqconsultants.ca



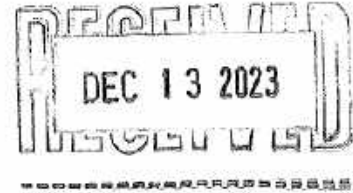
Doug Roberts & Emily Mattas

█ E Avenue,

PO Box █,

Kaslo BC. █

Mayor and Council
Village of Kaslo,
Kaslo B.C.



10 December 2023

Re: South Beach/Former mill site Rezoning Application

Dear Mayor and Council:

After attending November 29 the presentation, by Quality Property and CTQ Engineering, on the proposed development of the old mill site South of Kaslo River, we've given it a lot of thought, and while there could be some benefits to the Village, we have several concerns.

RV Sites

RV camping could be a good use for part of the area; however we don't think Kaslo needs 80 new RV sites. That's more than double the 35 spaces already available at the municipal campground, and except for special events [May Days, Jazz Festival] and sometimes during high season when there may be several RVs in over flow, the need isn't that great.

In addition, bringing more RVs to town will *increase pressure on businesses*, when they are already struggling with staff shortages that force owners to reduce hours and shorten work weeks, cause owner burnout and seasonal closures. These negatively affect both the quality of visit for tourists and the quality of life for residents.

With the strata option in the development, a good portion of the sites will likely end up as a year round RV parking lot [eg: Woodbury, Crescent Beach]...not very attractive and of limited benefit for Kaslo and the people who live here.

Residential Use

Maximizing the residential use of the area would be of great value to Kaslo and the townhouses proposed at the end of Birch Avenue are a good start. The concept of a **Tiny Homes** community, as part of the development, was brought up at the meeting. This would be a huge asset to Kaslo. Having 'wheels on the ground', they would be suitable for flood plain living, provide much needed accommodation options for modest income citizens, and allow for more year-round residents. This could increase the labour pool needed to help keep businesses afloat in Kaslo. Why fill the area with empty RVs when there is the opportunity to have a real, positive

impact on the Village? The developer should strive to propose a plan that would **really** benefit Kaslo, produce a project that could make Kaslo proud, be seen as an example for other small communities, and would be a feather in the cap of the developers.

Road Allowance 'Trade'

The proposed land trade with the Village is not a fair trade, and weighted heavily towards the developer! Closing a very large area of road and lane allowances and turning them into *highly valuable land for the development*, in exchange for a narrow strip of land along the river is not a fair deal. The 15 metre riparian zone cannot be developed and therefore has no commercial value to the developer, yet the **village would then become responsible for ----and relieve the developer of --- the huge liability of protecting and maintaining the riverbank and riparian zone from possible flood damage.**


Flood Wall


The proposed flood wall, 15m from the river bank, will protect the development area from eventual flooding, but would channel and intensify flood waters along the riparian area, compounding the problem and increasing damage for the Village. The wall should be setback *much* further. This could be done with the developer offering more land for trade, by rearranging, reducing the number of, and reducing the length of the sites along that side. We don't need 80 sites, and not all RVs require such a long space.

Village Water System

The Village water system is already strained by current needs during our increasingly dry summers. Taking into account future water service for infill lots, the capacity of the water system may not support adding 80+ more users.

Thanks for considering our concerns,
Sincerely;


Doug Roberts

Emily Mattas




REQUEST FOR COUNCIL DECISION

PREPARED BY: Catherine Allaway, Corporate Officer

DATE: January 5, 2024

SUBJECT: 2024.01.03 from R. Dunnett/T. Wallace re DVP 2023-15

PURPOSE: To consider correspondence related to Development Variance Permit 2023-15 (Kaslo Community Services).

OPTIONS:

Recommendation is indicated in **bold**. Implications are in *italics*.

1. Revisit DVP 2023-15. *Council can vote to reconsider the matter of the DVP and vote again on whether to issue the permit in light of the new information.*
2. Receive the correspondence from Mr. Dunnett for information. *The correspondence will be added to the file and DVP2023-15 will be issued as resolved.*
3. Refer back to staff for further review and report.

RECOMMENDATION:

THAT Council [reconsider the matter of DVP 2023-15]/[receive the correspondence from R. Dunnett and T. Wallace for information].

ANALYSIS:

- A. **Background:** An application for a Development Variance Permit was submitted by Cover Architecture, on behalf of Kaslo Community Services on 2023.11.09. The application was reviewed by staff and public notice was distributed to properties within 60 m of the subject lands on 2023.12.01. On 2023.12.07 comments regarding the proposed DVP were submitted by Mr. Dunnett and added to the file. When the package was assembled for the 2023.12.12 Council Meeting, the letter from Mr. Dunnett was erroneously omitted. As a result, Council considered the DVP application without the benefit of Mr. Dunnett’s comments on the matter.

Section 26 of the Council Procedures Bylaw outlines the process for reconsideration of a matter that has been decided by Council. The bylaw states that “a Council member may, at the next Council meeting, move to reconsider a matter” but requires a Council resolution to do so.

If Council votes to reconsider the matter, they may then vote again on whether to issue the Development Variance Permit (as if for the first time).

- B. **Discussion:** It is very unfortunate that the comments from Mr. Dunnett were not included in the 2023.12.12 agenda package since the Village aims to encourage public participation in municipal affairs. Mr. Dunnett took the time to express his concerns and deserves to have his views considered.

Mr. Dunnett’s comments have been reviewed by staff and do not change the recommendation found in the original planning report for DVP 2023-15.

C. Attachments:

- 2024.01.03 letter from R. Dunnett/T. Wallace
- 2023.12.07 email from R. Dunnett/T. Wallace
- Notice – DVP 2023-15
- DVP2023-15 Planning Report including application documents

D. Financial Implications: Nil

E. Corporate Priority: Nil

F. Environmental Impact: Nil

G. Communication Strategy: Nil

CAO Approval: [Date approved by CAO]

From: [Rod Dunnett](#)
To: [Karissa Stroshein](#)
Subject: With respect to variance application by Community Services
Date: January 3, 2024 11:44:17 AM

Please forward this letter to the Mayor and Molly Leathwood - not sure of their email address and apparently have to have this letter in by noon!

To COA and Village of Kaslo Council Members

-

Community Services applied for a variance to build an expansion that will greatly impact our property. On receipt of a letter from the Village describing the variance application and giving me an opportunity to respond to the application, I did so within the time constraints. I don't know when this letter was mailed to me but I had two days to respond after picking up the mail, but respond I did, hurriedly.

Now it seems that my letter was not even read out and the issues I raised were not discussed. This is a dereliction of duty. I responded in good faith, and at a minimum expected my concerns to be heard and discussed.

Why was my letter not included in the list of correspondence to be presented at the 12th December meeting? If it had been on the list, my concerns would have come before the Council at the meeting.

I feel the variance application by Community Services needs to be reviewed, with my letter contributing to discussion. I also feel that notes need to be taken during this review, in the interests of transparency. I took the time to respond to the variance application, and feel that the courtesy of listening to the issues I raised is necessary.

I hope that this review will take place at the upcoming Council Meeting, and that this letter be attached to the correspondence list for said meeting.

Regards,

Rod Dunnett / Tracy Wallace

[Redacted]

[Redacted]

Karissa Stroshein

Subject: Variance DVP-2023-15

From: Rod Dunnett <roddunnett@yahoo.ca>

Sent: Thursday, December 7, 2023 9:31 AM

To: Karissa Stroshein <admin@kaslo.ca>

Subject: Variance DVP-2023-15

To Village of Kaslo -

Feedback from owners of 330 B Avenue, next property east of Community Services.

In reference to the above variance application - firstly, as I pick up the mail once per week, and receiving this application for consideration on the 6th December I feel not enough time was given for me to make an adequate response.

Two representatives from Community Services talked with Tracy and I in the spring and we listed our objections to them at that time. We have the same concerns now and I will briefly present them for your consideration.

Expanding their building to five feet of the joint property line we feel is too close. We get some light from the west into our bathroom window, as well as light into a small window at the back of the house. This proposed building will block that light as well as the partial view we have of Mount Buchanan from those windows.

It has to be taken into consideration

that the Community Services Lot is almost five feet higher than our lot. So building so close to the property line will erect a large wall that would seemingly dwarf our house.

(interestingly enough, the plan presented does not show the heights of the proposed expansion.)

There is a concrete wall halfway along the lot line in from B Avenue that roughly follows the lot line. However, from where the building expansion is proposed to take place and east to the alley, is a dirt bank that is not that stable, but is contained by a row of maple trees. To build close to that bank will disturb that dirt bank. Trees will have to be removed and egress onto our property is likely during construction and tree removal. What guarantees will we have that our property rights will be respected? Will a new and continuous retaining wall be built? This variance application leaves too many unanswered questions.

A concern we also have is that if heavy equipment is used to dig the foundations of the extension, the vibration from that equipment could compromise our building, particular the foundation. Most of our house was built in 1893, and the concrete foundation appears to have been added somewhat later - but likely at least a hundred years old.

We proposed, during our face to face meeting with the Community Services representatives, that instead of putting all of the expansion on the east side of their building, that they split the difference, and expanded west and east to get the same amount of extra floor space needed. No real answer was given to that suggestion.

If they split the difference, we would not feel as if we were being hemmed in. We also asked why not build higher on the existing building footprint? Although that would impact us somewhat, it would not be to the same degree as building 1.6 metres from the lot line. That suggestion was dismissed as being too expensive or not feasible construction wise. It seems to us that is a possibility if so desired.

There is also room at the front of the Community Services building to add reception rooms or offices, and stay within bounds.

When we bought our property the Community Services building was a private dwelling. We supported the change in zoning to allow that building to become the Community Services office as we firmly believe in the work they are doing. However, we would not have supported that zoning change had we known that future expansion plans would impact our property to this degree.

We are also concerned about the effect this proposed building expansion might have on our property values. Right now, with the existing layout of the buildings on both lots, there is a feeling of spaciousness. This would disappear if the proposed expansion took place. The variance application does not have enough details - would there be a bank of windows facing our house; would there be a side door; a pathway along that five feet space; would a privacy fence be built; would the retaining wall be replaced and continued to the alley; how high will the building be (both the one story part and the two story part)?

If the number of off street parking spots is reduced from 7 to 3, where will the extra cars park? Sometimes the spaces in front of the Community Services building on B Avenue are completely full.

It seems unlikely, while construction of this proposed extension is underway, that normal office services will continue. Perhaps alternative interim offices will need to be found. In that case, why not raze the existing building and build purpose built offices on basically the same footprint? The cost of the expansion is conservatively tagged at one million dollars - that could go a long way to the design and build of a two story office/residence block.

Tracy and I are firmly opposed to acceptance of the variance because of the effects on our property, particularly the effects on light, view, and possibilities of compromising our foundation. We feel that there are other avenues that should be explored.

We have talked about Community Services buying our property, which would be cheaper than expanding for them, and has many advantages. We are becoming more comfortable with the idea of leaving our house, which has been our home for thirty five years. As we age and find that our property is too large for us to take care of properly, we are likely to sell in the next few years. Community Services would have four lots to work with, which includes residence and office space, as well as a workshop and parking spaces. We would much rather see that as an alternative plan, rather than restrict our light, view, and spatial sense by building so close to the lot line.

Sincerely,
Rod Dunnett
Tracy Wallace



[Sent from Yahoo Mail for iPhone](#)



VILLAGE OF KASLO

Notice of an application for a Development Variance Permit in your neighbourhood.

A Development Variance Permit application has been submitted by Kaslo Community Services Society, Inc. No. S0012375 for the purpose of expanding the building located at 336 B Avenue.

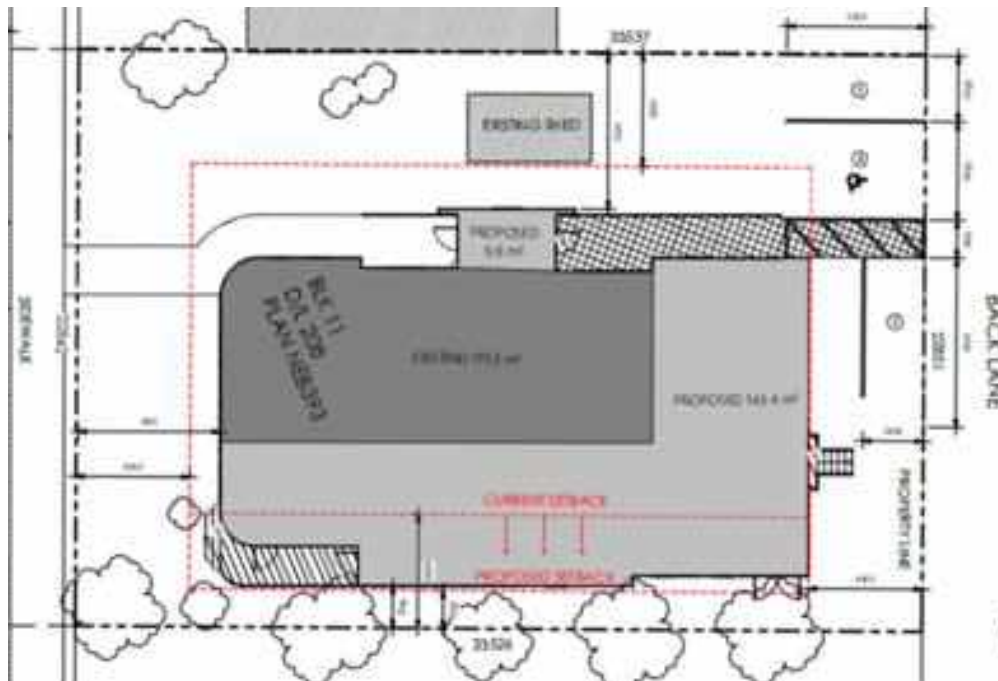
The *Local Government Act* and *Village of Kaslo Development Procedures Bylaw No.1283* requires us to give you notice that the Council of the Village of Kaslo will consider issuing the Development Variance Permit (File # DVP-2023-15) at their Regular Meeting on December 12th 2023, which starts at 6:00 p.m. in the Council Chambers at City Hall, 413 4th Street, Kaslo

CIVIC ADDRESS: 336 B Avenue
PARCEL IDENTIFIER: 029-612-594
LEGAL DESCRIPTION: PARCEL F (BEING A CONSOLIDATION OF LOTS 29, 30, AND 31, SEE CA4531117) BLOCK 11 DISTRICT LOT 208 KOOTENAY DISTRICT 393

The applicant is requesting a Development Variance Permit:

- 1) To reduce the easterly side yard setback from 4.5 metres to 1.6 metres for the proposed addition.
- 2) To reduce the number of required off-street parking spaces for the office and residential use from 7 to 3.

This variance is requested to accommodate the proposed construction of an office expansion with a residential transition accommodation on the second floor.



Anyone who believes that approval of DVP-2023-15 will affect their interests is invited to provide their comments to the Village. Written submissions can be sent by email, facsimile, mail or hand delivered using the contact information below. All submissions must be received no later than 12-noon on Friday December 8th, 2023.

Chief Administrative Officer - Village of Kaslo
PO Box 576, 413 4th Street, Kaslo, B.C. V0G 1M0
Telephone: 250-353-2311 Facsimile: 250-353-7767 Email: admin@kaslo.ca

PREPARED BY: Ian Dunlop, CAO

DATE: November 20, 2023

SUBJECT: DVP 2023-15 – 336 B Ave (PID 029-612-594, Folio 533.00132.000)

PURPOSE: This application requests a **Development Variance Permit** to reduce parking and setback requirements at Kaslo Community Services to accommodate a proposed office addition to add a residential unit.

RECOMMENDATION: That Council approve Development Permit application DVP 2023-15 to vary the requirements of Land Use Bylaw #1130 as follows:

- 1) To reduce the easterly side yard setback from 4.5 metres to 1.6 metres for the proposed addition.
- 2) To reduce the number of required off-street parking spaces for the office and residential use from 7 to 3.

And, that Kaslo Community Services enter into an agreement with the Village to pave and maintain that portion of the boulevard on B Avenue in front of their property for angled parking with a signed restriction that overnight parking be prohibited.

ANALYSIS:

A. Background:

The applicant, Cover Architecture on behalf of Kaslo Community Services, would like to expand their existing building to accommodate expanded office space and add a residential unit for transient accommodation.

Kaslo Community Services provides important support and programs for residents of Kaslo and North Kootenay Lake. Their current facility is too small to accommodate the services they provide. Our community also lacks residential accommodation for individuals or families that need transient accommodation. The existing facility is a converted house on a 75' x 110' (766 m²) lot. The building is connected to municipal water and sewer.

Under Kaslo's Land Use Bylaw #1130 as amended, the property is zoned C-2 – Central Business District, which allows a range of different uses along with residential subject to the RM-1 – Multiple Residential zone regulations, and transient accommodation subject to the C-1 – Waterfront Commercial regulations. The property was rezoned from C-4 – Office Commercial to C-2 in 2018. The properties on either side are zoned R-1 – Single and Two-Family Residential.

Staff met with the applicant on October 4, 2022, to discuss possible expansion and functionality improvements of the Community Services building. To better serve the community, the society needs to add approximately 1,000 square feet of space to the building for offices, waiting area, therapy, accessible washroom, and a meeting room. They also wanted to provide an emergency overnight space that could accommodate a family. The need for variances to setbacks and parking requirements of Bylaw 1130 was recognized.

B. Discussion:

The proposed development meets the objectives and policies of the Official Community Plan (OCP). The OCP objectives for the Core Commercial area include allowing residences to be located above and to the rear of commercial and office uses. The land use zoning regulations are explained in detail below.

C-2 Zoning Regulations:

Minimum Front Setback from property line	0.0 m
Minimum Side Setback from property line	4.5 m next to a residential zone
Minimum Rear Setback from property line	4.5 m
Maximum Building Height	12.0 m

The existing front setback of the building will be maintained. The easterly side setback will be reduced from 4.5 metres to 1.66 metres for the proposed addition. The rear setback will be reduced to 4.5 metres. An exit staircase will project approximately 2 metres into the rear setback, whereas a projection of 0.6 metres into a setback is allowed (projections include things like overhangs, eaves, stairs and railings attached to the principal building). The height of the proposed addition is 7.1 m, and the second storey will be limited to the residential unit.

Except for the side yard setback reduction from 4.5 m to 1.6 m and parking, the proposed development meets the requirements of Land Use Bylaw 1130.

Parking:

The office use requires 1 parking space per 46 m² of floor space. The total floor space of the ground floor is 272 m², so 6 parking spaces are required. The residential unit requires 1 parking space, for a total of 7. There will be 3 parking spaces provided on the rear of the property, one of which will be accessible. The applicant proposes to pave the boulevard in front of the property along B Avenue to provide 4 on-street parking spaces. A variance is therefore required to reduce the number of parking spaces provided on the property to 3, as the on-street parking spaces cannot be included.

Bylaw 1228, Payment in Lieu of Parking, requires a payment of \$5,000 in lieu of each off-street parking space that cannot be provided. By varying the parking requirement of Bylaw 1130, the applicant will not be required to pay the payment-in-lieu fee. The paving of the boulevard is a desirable improvement to ensure that there is reliable parking available for the use but there should be a restriction on overnight parking to ensure that the street can be cleared of snow. The property owner is responsible for clearing snow from the parking spots. Council approval for the applicant to pave and maintain the boulevard and install signage is required. However, exclusive use of public on-street parking spaces is not granted.

C. Conclusion

The proposed variances are within the intent of the Official Plan and Land Use Bylaw 1130 and are desirable for the community to ensure that programs and services can be effectively delivered by Kaslo Community Services.

D. Attachments:

- DVP2023-15 Application Package
- Pages from Land Use Bylaw 1130 pertaining to parking and C-2 requirements.

CAO Approval: 2023.11.29



The Village of Kaslo

Susan Hewat, Mayor
& Ian Dunlop, Chief Administrative Officer
PO Box 576, Kaslo, BC, V0G 1M0
250-353-2311
admin@kaslo.ca

RE: Request for Variance for Expansion and Renovation of Kaslo Community Services Society Facilities

Dear Mayor Hewat and Mr. Dunlop,

I am writing on behalf of Cover Architecture and Kaslo Community Services Society to formally request a variance from the Village of Kaslo zoning regulation for the expansion and renovation of the existing Kaslo Community Services Society (KCS) facilities located at 336 B Avenue. Our proposal, as outlined in our design report, encompasses the need for variances to certain zoning regulations to facilitate the project’s successful execution.

Context

Cover Architecture has diligently worked on the design report, taking into account the specific requirements provided by KCS and in collaboration with the Village of Kaslo’s Chief Administrative Officer (CAO) to ensure compliance with relevant bylaws and variances required for this project. The proposed design aims to accommodate KCS’s need for additional space to enhance its community organisational operations while remaining within the allowable parameters of the site, subject to the acceptance of the presented variance requests.

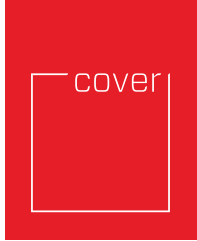
Variance Requests

Our proposal entails the following variance requests:

- 1. Reduction of Side Setback:** We are seeking permission to reduce the side setback from 4.5 meters to 1.5 meters along the east property line. This adjustment is essential to maximize the utilization of the existing site boundaries effectively.

- 2. Residential Transition Accommodation:** Our design incorporates a second-floor addition at the rear of the building for residential transition accommodation. While the C-2 Zone permits RM-1 Zone, Multiple Residential uses, we are requesting permission for a residential transition accommodation use in addition to the commercial use on the main level.

- 3. Front Parking Spaces:** We propose utilizing the existing off-street diagonal parking spaces at the front of the building for five dedicated parking stalls. These stalls will be clearly demarcated with pavement and painted lines. With the expansion, the building will require a total of seven parking stalls. With three provided at the rear, including an accessible stall and accessible path



to the building, and five at the front, this would result in a total of eight paved and marked parking stalls. We are also providing secure bike storage for the staff.

Community Consultation: As recommended by the Village of Kaslo, the owner of the property, has engaged in communication with the neighbouring properties to discuss the variance plan. The surrounding neighbours are aware of the Variance process. KCS believes in the importance of transparency and collaboration with the local community in this endeavour.

Lot Coverage: It should be noted that there is ample space available on the site for an additional 1,540 square feet of lot coverage within current zoning regulations. While the C-2 zoning does not stipulate a maximum lot coverage, the introduction of residential use may potentially invoke the 40% maximum lot coverage from the RM-1 Zone. We seek further clarification on this matter, but we would like to note that with the proposed extension, the total lot coverage would be 35%.

Rationale and impact on the community

Our proposal aligns with the recommendations of the Official Community Plan, the BC Building Code and the Zoning Bylaw. We are committed to adhering to the guidelines and regulations outlined in these documents to ensure that our development is in harmony with the broader community vision.

By incorporating residential transition accommodation, this project addresses the pressing need for transitional housing options within the community. This is a crucial step towards meeting the growing demand for community services, which would undoubtedly benefit the area.

As for its impact on the surrounding area, the proposed development has been designed to complement and enhance the existing conditions. We have considered factors such as preserving natural landscape features where possible, adding planting to maintain privacy, especially on the eastern side. It's worth noting that the east-facing wall will have limited unprotected openings (doors and windows), given its proximity to the property line. This precaution is essential for the safety of both the facility and its occupants, and we have specified non-combustible construction and cladding on specific sides of the building. Moreover, the installation of a sprinkler system will enhance safety measures.

In its commitment to sustainability and energy efficiency, KCS has made it a priority to minimize the impacts of climate change. Our design team is working towards achieving Step Code 3 as the minimum requirement for energy efficiency and also using low-carbon, sustainable and local materials.

Our proposed development is in keeping with the community's character and anticipated development. We have carefully considered building height and the massing of the extension to be well suited to the pedestrian scale by adding the second floor to the back of the building.



Conclusion

Our application for a Development Variance Permit is based on practicality and necessity. The Kaslo Community Services Society facilities are currently insufficient to effectively serve the community and the social well being of the residents of Kaslo. The proposed expansion and renovation are essential to better serve the community’s needs.

We have explored alternatives to minimize variances, but these are essential to accommodating the unique requirements of the project while maintaining compliance with relevant zoning bylaws.

We kindly request your support for the specified variance requests to enable us to proceed with this project effectively. Our team is readily available for any discussions or clarifications required to facilitate the approval process.

Thank you for your time and consideration of our proposal. We look forward to working closely with the Village of Kaslo to bring this project to fruition and continue our commitment to serving the community.

Sincerely,

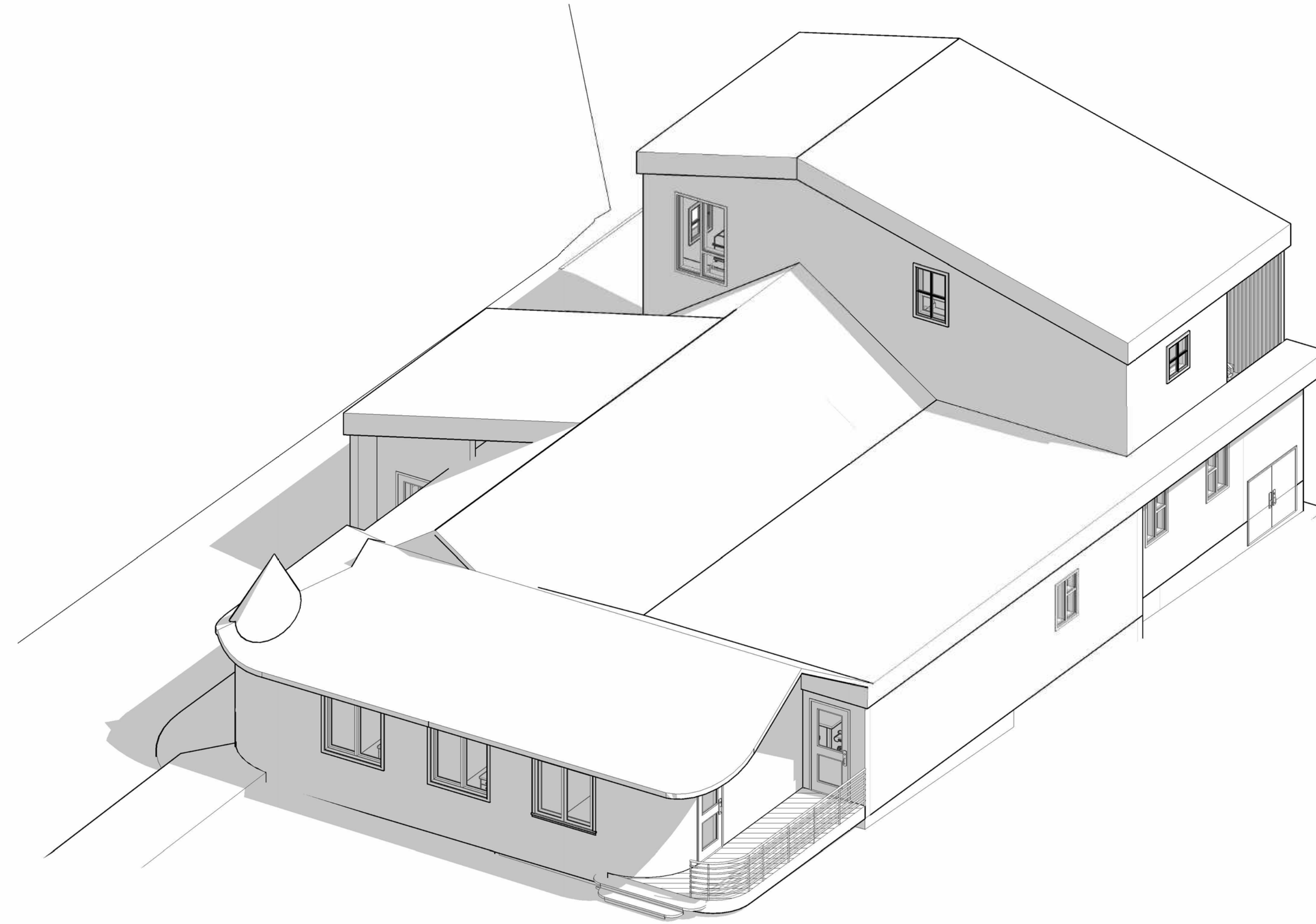
A handwritten signature in black ink, appearing to read "Joanie Madore".

Joanie Madore, Architect AIBC
Cover Architectural Collaborative Inc.
joanie@coverac.ca
250-551-4497

KASLO COMMUNITY SERVICES BUILDING

ISSUED FOR DEVELOPMENT VARIANCE PERMIT

2023-09-29



ARCHITECTURE

#196 Baker Street
Nelson BC
V1L 4G9

250 354 4445
cover.ca

Copyright reserved. This design and drawing is the exclusive property of COVER Architectural Collaborative Inc. and cannot be used for any purpose without the written consent of the Architect. This drawing is not to be used for construction until issued for that purpose by the Architect. Prior to commencement of the Work the Contractor shall verify all dimensions, details and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full Contract Documents, and bring these items to the attention of the Architect for clarification. These drawings must not be copied. These drawings supersede previous issues.

CONSULTANTS

CLIENT

KASLO COMMUNITY SERVICES

REVISIONS

REVISION SCHEDULE		
NUMBER	DATE (YY/MM/DD)	ISSUED

NOT FOR CONSTRUCTION



KCS BUILDING

ADDRESS

336 B Ave, Kaslo, BC V0G 1M0

PROJECT #

23062

DATE

2023-09-29

REV.

DESIGNED BY JM/AW

CHECKED BY Checker

DRAWN BY RD

SHEET

COVER PAGE

A000

CONSULTANTS

COVER ARCHITECTURAL COLLABORATIVE INC.
96 BAKER ST.
NELSON, BC V1L 4G9
250 354 4445

DRAWING LIST

A000	COVER PAGE
A001	NOTES, LEGEND
A004	CODE REVIEW & BYLAW REVIEW
A005	LIMITING DISTANCES
A101	SITE PLAN
A202	MAIN FLOOR DEMOLITION PLAN
A203	MAIN FLOOR PLAN
A204	SLIITE FLOOR PLAN
A205	ROOF DEMOLITION PLAN
A206	ROOF PLAN
A301	ELEVATIONS
A302	ELEVATIONS
A401	BUILDING SECTIONS

REVISION SCHEDULE		
NUMBER	DATE (YY/MM/DD)	ISSUED

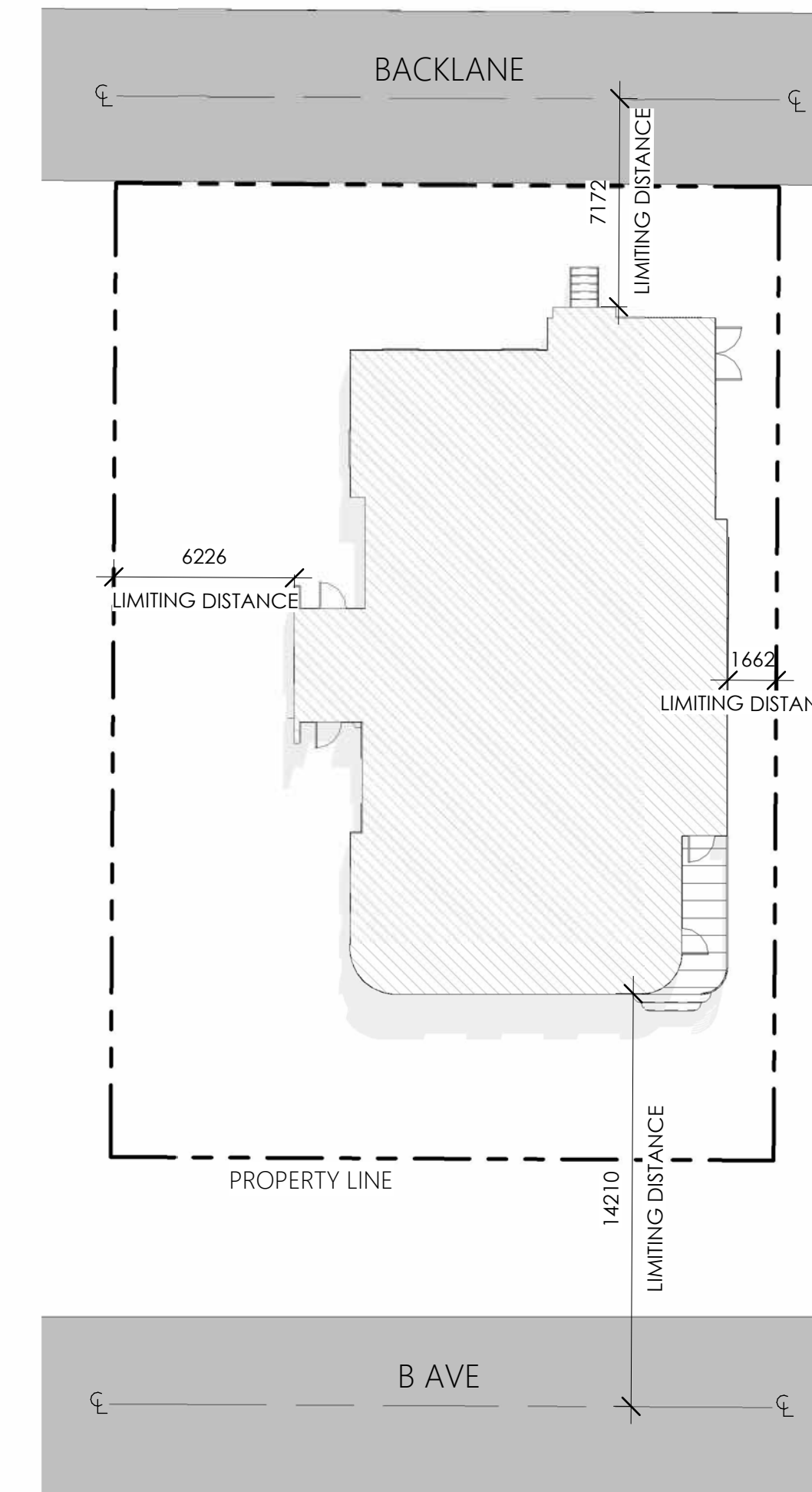


SHEET NOTES - EXPOSED BUILDING FACES

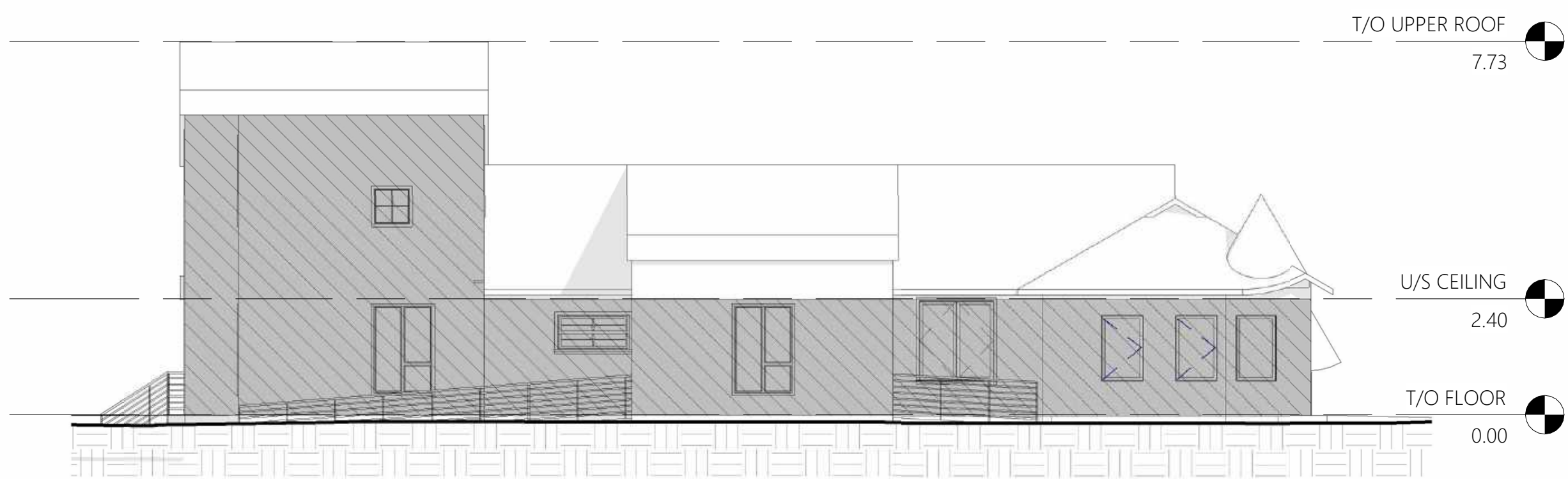
- CONSIDERATION FOR SPRINKLERING OR FIRE CLOSURES TO ALLOW FOR FULL LIMITING DISTANCE IN DESIGN.
- SECOND STORY RESIDENTIAL SUITE FIRE COMPARTMENTALIZED.

KEYNOTE LEGEND

C1 FIRE RATED STEEL DOOR



3 LIMITING DISTANCE
 1: 200



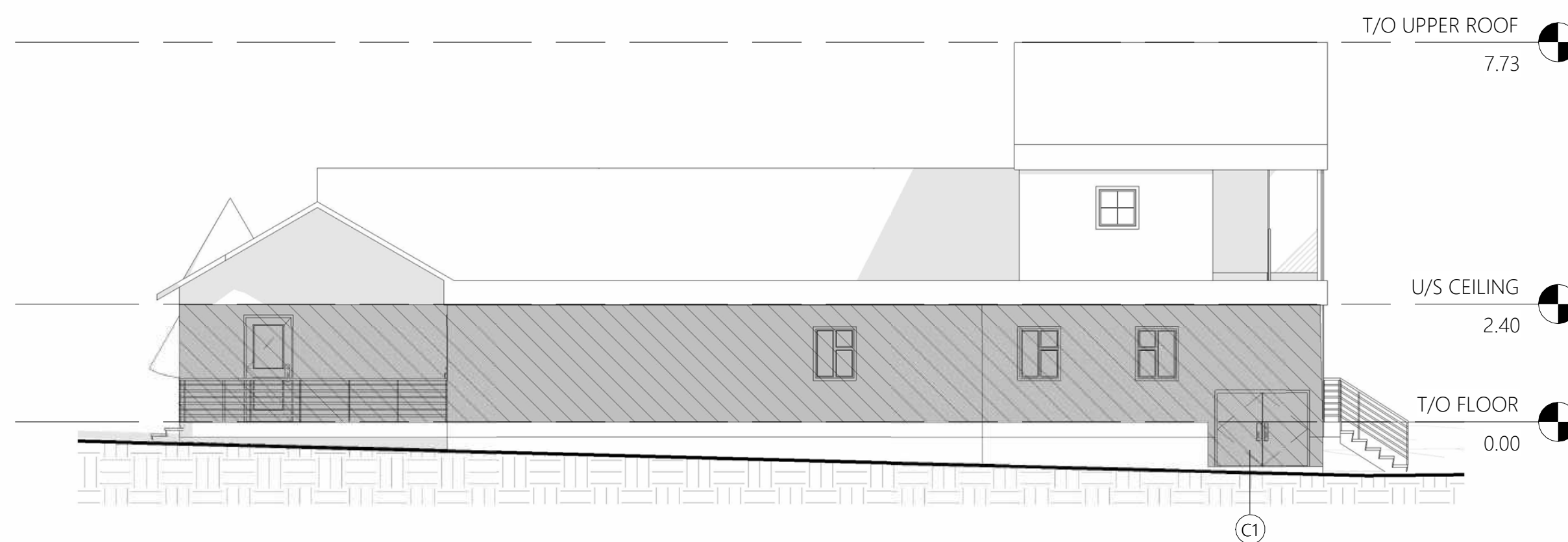
6 WEST ELEVATION UNPROTECTED OPENINGS
 1: 100

BCBC 9.10.14.4 OPENINGS IN EXPOSED BUILDING FACE - WEST ELEVATION

AREA : 79.487 m²
 LIMITING DISTANCE : 6.226 m
 % OF UNPROTECTED OPENINGS : 34%
 % OF PROPOSED UNPROTECTED OPENINGS: 15.1%

BCBC 9.10.14.5 CONSTRUCTION OF EXPOSED BUILDING FACE - WEST ELEVATION

AREA OF UNPROTECTED OPENING : >25% TO <50%
 FIRE RATING : 45 min
 TYPE OF CONSTRUCTION: COMBUSTIBLE OR NONCOMBUSTIBLE
 TYPE OF CLADDING: NONCOMBUSTIBLE



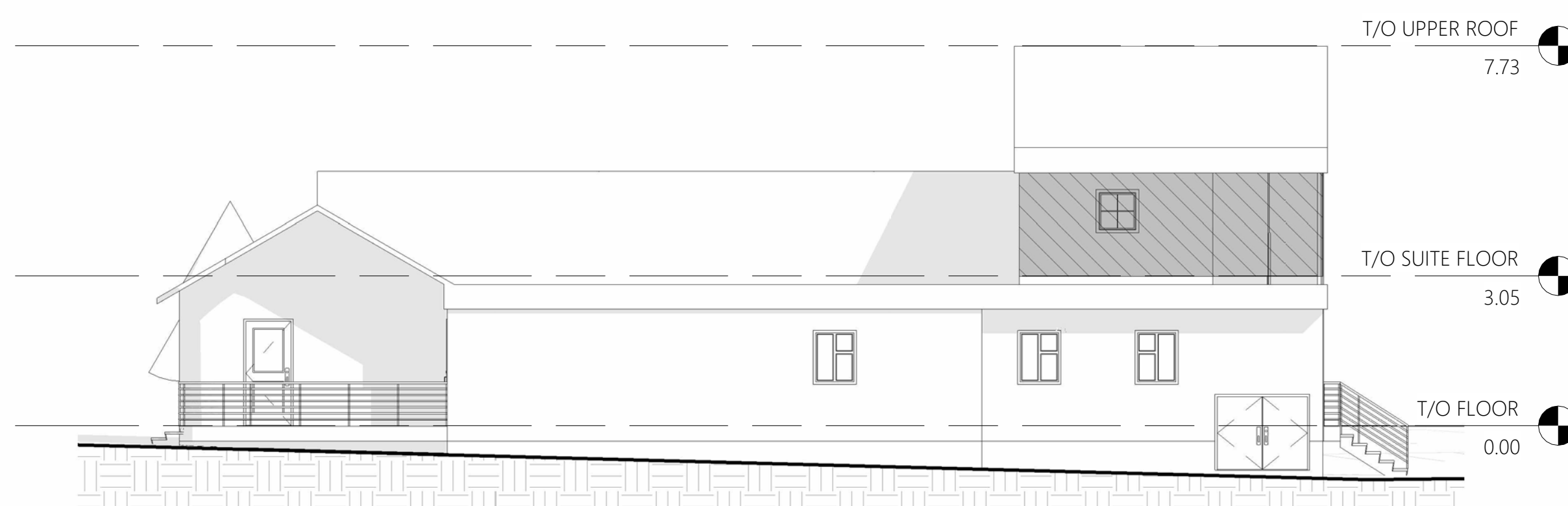
5 EAST ELEVATION UNPROTECTED OPENINGS
 1: 100

BCBC 9.10.14.4 OPENINGS IN EXPOSED BUILDING FACE - EAST ELEVATION

AREA : 57.944 m²
 LIMITING DISTANCE : 1.662 m
 % OF UNPROTECTED OPENINGS : 8%
 % PROPOSED UNPROTECTED OPENINGS: 7.4%

BCBC 9.10.14.5 CONSTRUCTION OF EXPOSED BUILDING FACE - EAST ELEVATION

AREA OF UNPROTECTED OPENING : 0% to 10%
 FIRE RATING : 1 hr
 TYPE OF CONSTRUCTION: NONCOMBUSTIBLE
 TYPE OF CLADDING: NONCOMBUSTIBLE



4 EAST ELEVATION UNPROTECTED OPENINGS - SUITE
 1: 100

BCBC 9.10.14.4 OPENINGS IN EXPOSED BUILDING FACE - EAST ELEVATION

AREA : 12.992 m²
 LIMITING DISTANCE : 1.662 m
 % OF UNPROTECTED OPENINGS : 9%
 % PROPOSED UNPROTECTED OPENINGS: 4.3%

BCBC 9.10.14.5 CONSTRUCTION OF EXPOSED BUILDING FACE - EAST ELEVATION

AREA OF UNPROTECTED OPENING : 0% to 10%
 FIRE RATING : 1 hr
 TYPE OF CONSTRUCTION: NONCOMBUSTIBLE
 TYPE OF CLADDING: NONCOMBUSTIBLE



2 SOUTH ELEVATION UNPROTECTED OPENINGS
 1: 100

BCBC 9.10.14.4 OPENINGS IN EXPOSED BUILDING FACE - SOUTH ELEVATION

AREA : 83.858 m²
 LIMITING DISTANCE : 14.210 m
 % OF UNPROTECTED OPENINGS : 100%

BCBC 9.10.14.5 CONSTRUCTION OF EXPOSED BUILDING FACE - SOUTH ELEVATION

AREA OF UNPROTECTED OPENING : > 50% TO <100%
 FIRE RATING : 45 min
 TYPE OF CONSTRUCTION: COMBUSTIBLE OR NONCOMBUSTIBLE
 TYPE OF CLADDING: COMBUSTIBLE OR NONCOMBUSTIBLE



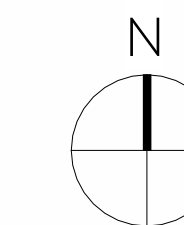
1 NORTH ELEVATION UNPROTECTED OPENINGS
 1: 100

BCBC 9.10.14.4 OPENINGS IN EXPOSED BUILDING FACE - NORTH ELEVATION

AREA : 83.846 m²
 LIMITING DISTANCE : 7.172 m
 % OF GLAZED OPENINGS : 34%
 % OF PROPOSED OPENINGS: 17.3%

BCBC 9.10.14.5 CONSTRUCTION OF EXPOSED BUILDING FACE - NORTH ELEVATION

AREA OF UNPROTECTED OPENING : >25% TO <50%
 FIRE RATING : 45 min
 TYPE OF CONSTRUCTION: COMBUSTIBLE OR NONCOMBUSTIBLE
 TYPE OF CLADDING: NONCOMBUSTIBLE



NOT FOR CONSTRUCTION



ARCHITECTURE
 #156 Baker Street
 Nelson BC V1L 4G3 250 354 4445
 coverca

Copyright reserved. This design and drawing is the exclusive property of COVER Architectural Collaborative Inc. and cannot be used for any purpose without the written consent of the Architect. This drawing is not to be used for construction until issued for that purpose by the Architect. Prior to commencement of the Work the Contractor shall verify all dimensions, details and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full Contract Documents, and bring these items to the attention of the Architect for clarification. These drawings must not be scaled. These drawings supersede previous issues.

CONSULTANTS

CLIENT
 KASLO COMMUNITY SERVICES

REVISIONS

REVISION SCHEDULE		
NUMBER	DATE (YY/MM/DD)	ISSUED
2	2023 09 06	Issued for Coordination



KCS BUILDING

ADDRESS
 336 B Ave, Kaslo, BC V0G 1M0

PROJECT #
 23062

DATE
 2023-09-29

REV.
 2

DESIGNED BY JM/AW

CHECKED BY Checker

DRAWN BY RD

SHEET
 SITE PLAN

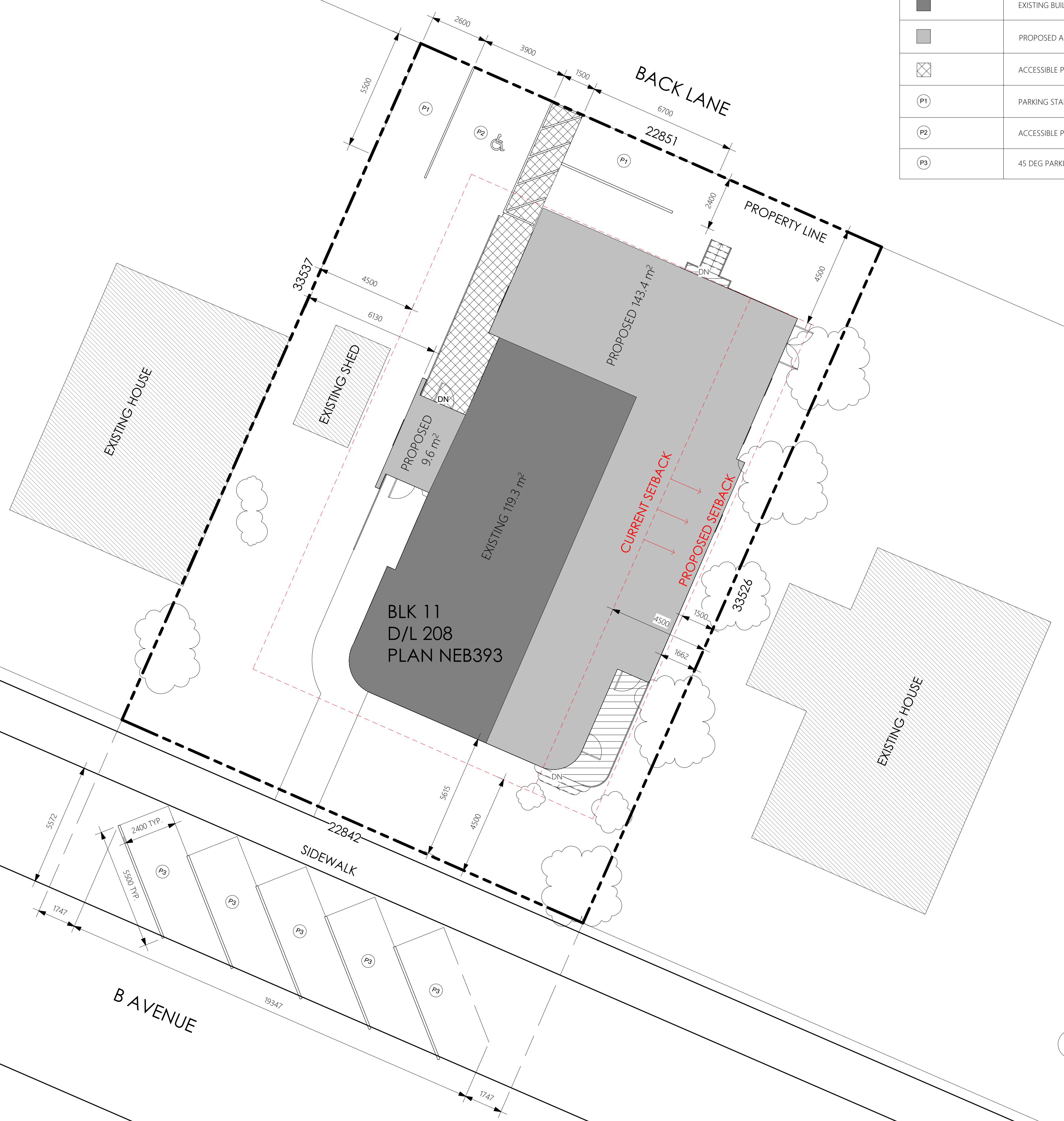
A101

SHEET NOTES - SITE PLAN

1. PROPOSING SETBACK VARIANCE FROM 4.5m TO 1.5m ON EAST SIDELOT LINE
2. ALL PARKING STALLS TO BE PAVED WITH PAINTED LINES
3. ACCESSIBLE PATHWAY TO BE SMOOTH SURFACED AND A MIN OF 1500 mm WIDE

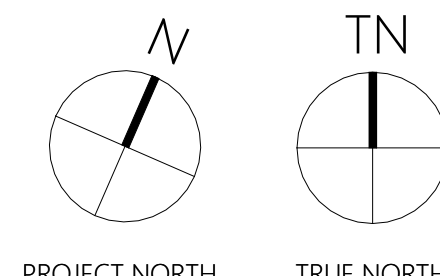
LEGEND

TYPE	DESCRIPTION
	EXISTING BUILDING
	PROPOSED ADDITION
	ACCESSIBLE PATHWAY (MIN 1500)
	PARKING STALL
	ACCESSIBLE PARKING STALL
	45 DEG PARKING STALL



NOT FOR CONSTRUCTION

1 SITE PLAN
 1:100





ARCHITECTURE
 #156 Baker Street
 Nelson BC V1L 4G9
 250 354 4445
 cover.ca

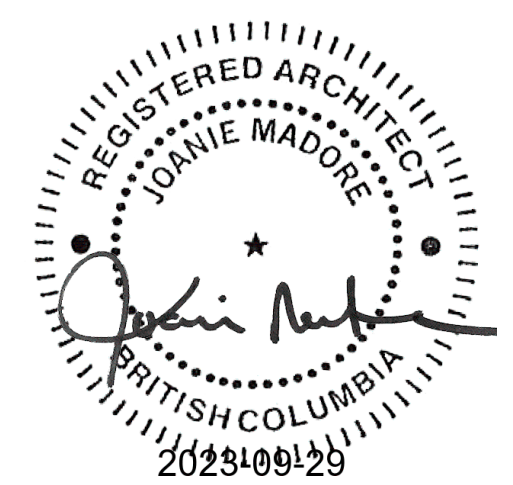
Copyright reserved. This design and drawing is the exclusive property of COVER Architectural Collaborative Inc. and cannot be used for any purpose without the written consent of the Architect. This drawing is not to be used for construction until issued for that purpose by the Architect. Prior to commencement of the Work the Contractor shall verify all dimensions, details and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full Contract Documents, and bring these items to the attention of the Architect for clarification. These drawings must not be scaled. These drawings supersede previous issues.

CONSULTANTS

CLIENT
 KASLO COMMUNITY SERVICES

REVISIONS

REVISION SCHEDULE		
NUMBER	DATE (YY/MM/DD)	ISSUED



KCS BUILDING

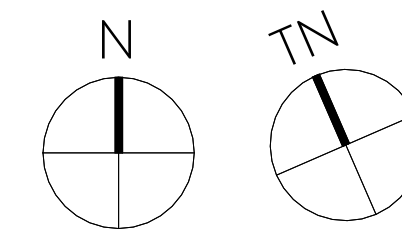
ADDRESS
 336 B Ave, Kaslo, BC V0G 1M0

PROJECT #
 23062

DATE
 2023-09-29

DESIGNED BY JM/AW
 CHECKED BY Checker
 DRAWN BY RD

SHEET
 MAIN FLOOR DEMOLITION
 PLAN



SHEET NOTES - FLOOR PLAN

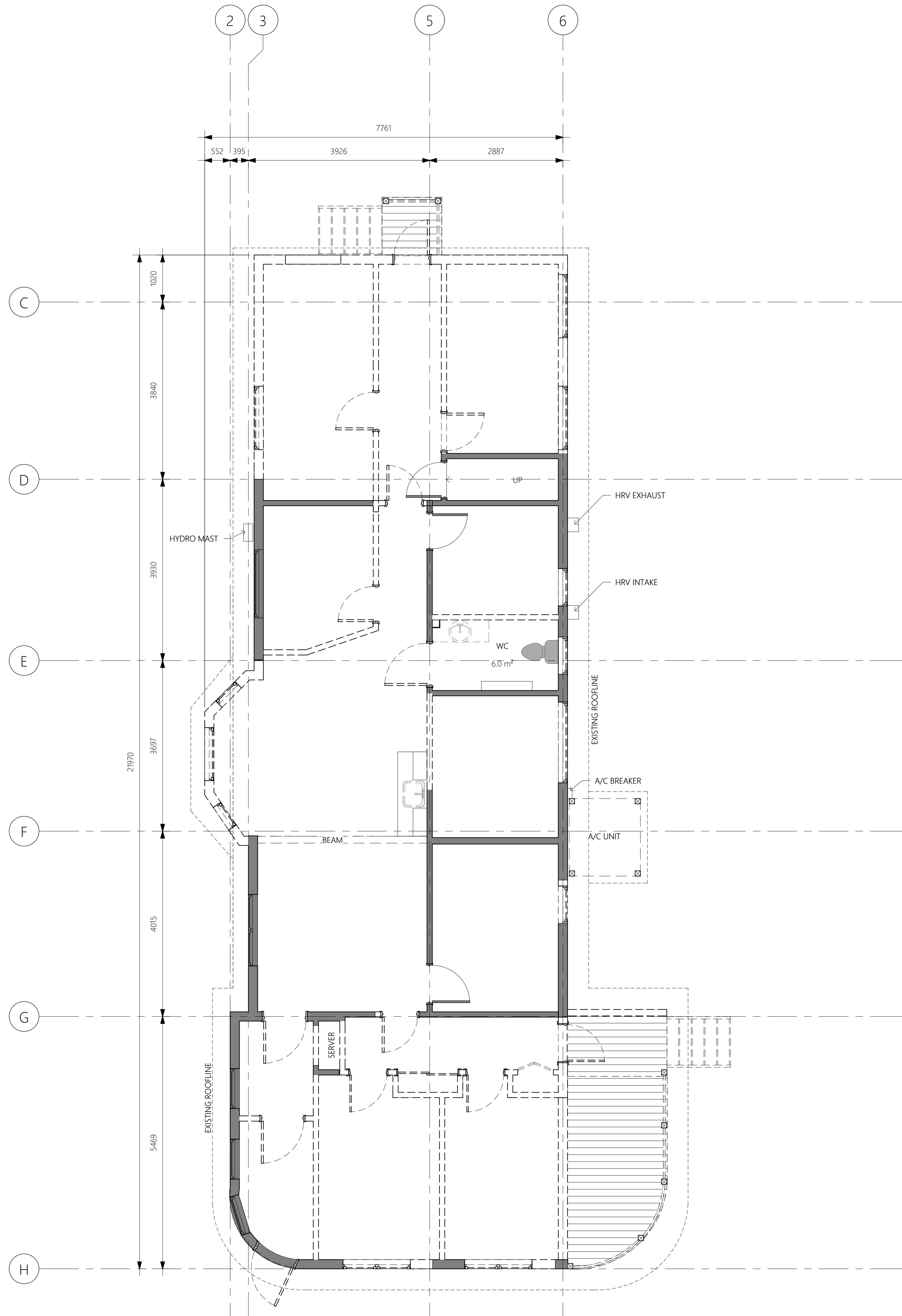
1. ALL EXTERIOR DIMENSIONS ARE TO CENTRE OF STUD OR FACE OF CONCRETE WALL, U.N.O. ALL ELEVATIONS ARE FROM DATUM ELEVATION MAIN FLOOR - 100 000 mm.

LEGEND

TYPE	DESCRIPTION
	EXISTING ELEMENTS
	EXISTING ELEMENTS TO BE DEMOLISHED
	OVERHEAD ELEMENTS

GROSS BUILDING AREAS

FLOOR	AREA
EXISTING MAIN FLOOR	154.1 m ²
PROPOSED MAIN FLOOR	272.3 m ²
PROPOSED SUITE FLOOR	58.3 m ²



1 EXISTING & DEMO FLOOR PLAN
 1:50

NOT FOR CONSTRUCTION



ARCHITECTURE
 #156 Baker Street
 Nelson BC V1L 4G9
 250 354 4445
 cover.ca

Copyright reserved. This design and drawing is the exclusive property of COVER Architectural Collaborative Inc. and cannot be used for any purpose without the written consent of the Architect. This drawing is not to be used for construction until issued for that purpose by the Architects. Prior to commencement of the Work the Contractor shall verify all dimensions, details and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full Contract Documents, and bring them to the attention of the Architect for clarification. These drawings must not be scaled. These drawings supersede previous issues.

CONSULTANTS

CLIENT
 KASLO COMMUNITY SERVICES

REVISIONS

REVISION SCHEDULE		
NUMBER	DATE (YY/MM/DD)	ISSUED



KCS BUILDING

ADDRESS
 336 B Ave. Kaslo, BC V0G 1M0

PROJECT #
 23062

DATE
 2023-09-29

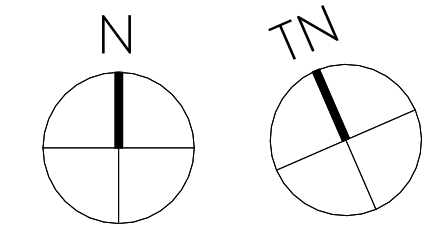
REV.

DESIGNED BY JM/AW

CHECKED BY Checker

DRAWN BY RD

SHEET
 MAIN FLOOR PLAN



A203

SHEET NOTES - FLOOR PLAN

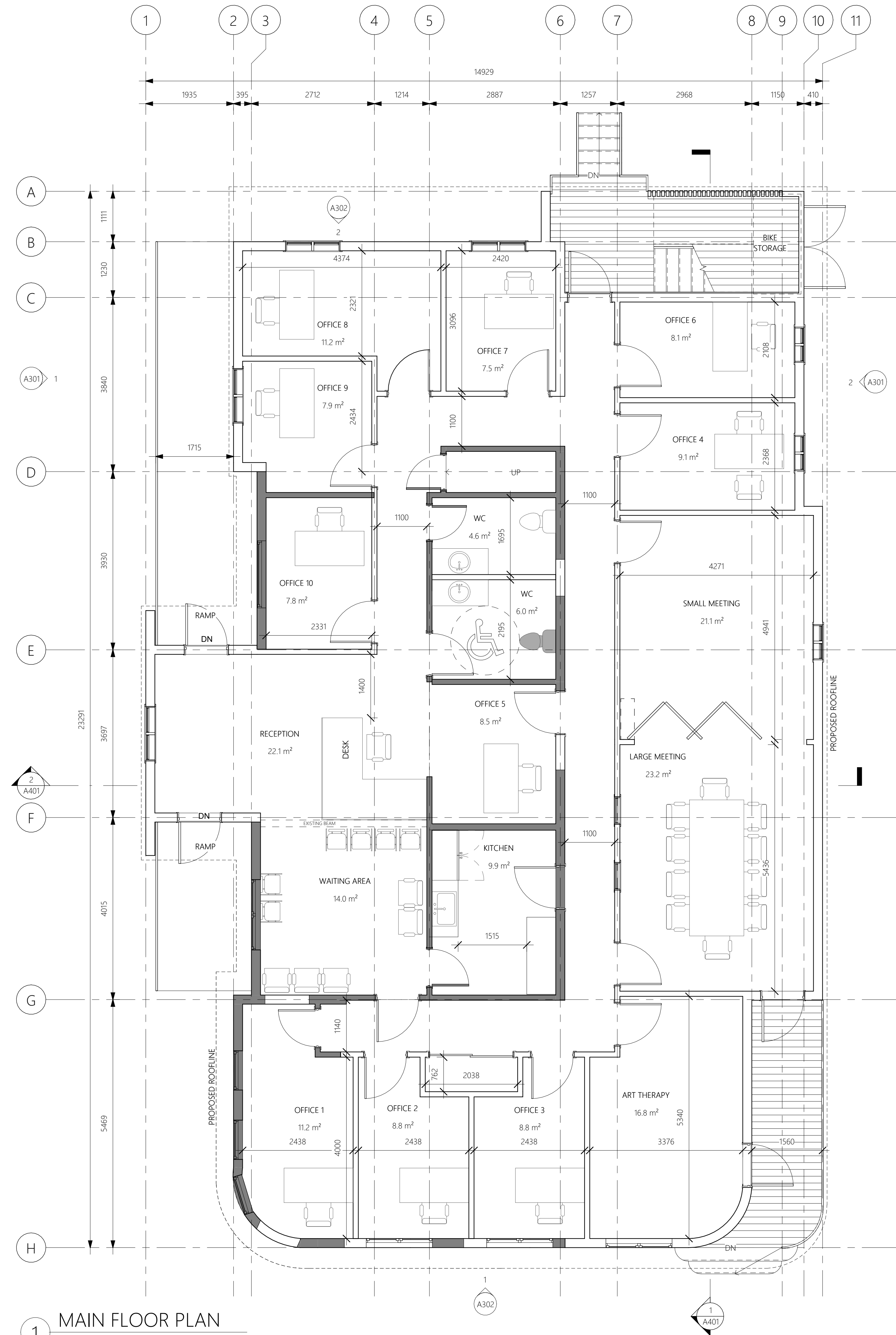
1. ALL EXTERIOR DIMENSIONS ARE TO CENTRE OF STUD OR FACE OF CONCRETE WALL, U.N.O. ALL ELEVATIONS ARE FROM DATUM ELEVATION MAIN FLOOR - 100 000 mm.

LEGEND

TYPE	DESCRIPTION
	EXISTING ELEMENTS
	NEW ELEMENTS
	OVERHEAD ELEMENTS

GROSS BUILDING AREAS

FLOOR	AREA
EXISTING MAIN FLOOR	154.1 m ²
PROPOSED MAIN FLOOR	272.3 m ²
PROPOSED SUITE FLOOR	58.3 m ²



1 MAIN FLOOR PLAN
 1: 50



ARCHITECTURE

#156 Baker Street
Nelson BC
V1L 4G9

250 354 4445
cover.ca

Copyright reserved. This design and drawing is the exclusive property of COVER Architectural Collaborative Inc. and cannot be used for any purpose without the written consent of the Architect. This drawing is not to be used for construction, used issued for that purpose by the Architect. Prior to commencement of the Work, the Contractor shall verify all dimensions, details and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full Contract Documents, and bring these items to the attention of the Architect for clarification. These drawings must not be scaled. These drawings supersede previous issues.

CONSULTANTS

CLIENT

KASLO COMMUNITY SERVICES

REVISIONS

REVISION SCHEDULE		
NUMBER	DATE (YY/MM/DD)	ISSUED

REVISIONS

KASLO COMMUNITY SERVICES

REVISIONS

REVISION SCHEDULE		
NUMBER	DATE (YY/MM/DD)	ISSUED



KCS BUILDING

ADDRESS

336 B Ave, Kaslo, BC V0G 1M0

PROJECT #

23062

DATE

2023-09-29

REV.

DESIGNED BY

JM/AW

CHECKED BY

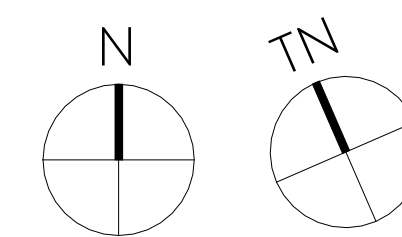
Checker

DRAWN BY

RD

SHEET

SUITE FLOOR PLAN



SHEET NOTES - SUITE PLAN

1. ALL EXTERIOR DIMENSIONS ARE TO CENTRE OF STUD OR FACE OF CONCRETE WALL, U.N.O. ALL ELEVATIONS ARE FROM DATUM ELEVATION MAIN FLOOR - 100 000 mm.
2. PROPOSING RESIDENTIAL SUITE VARIANCE FOR TRANSITIONAL ACCOMMODATIONS.

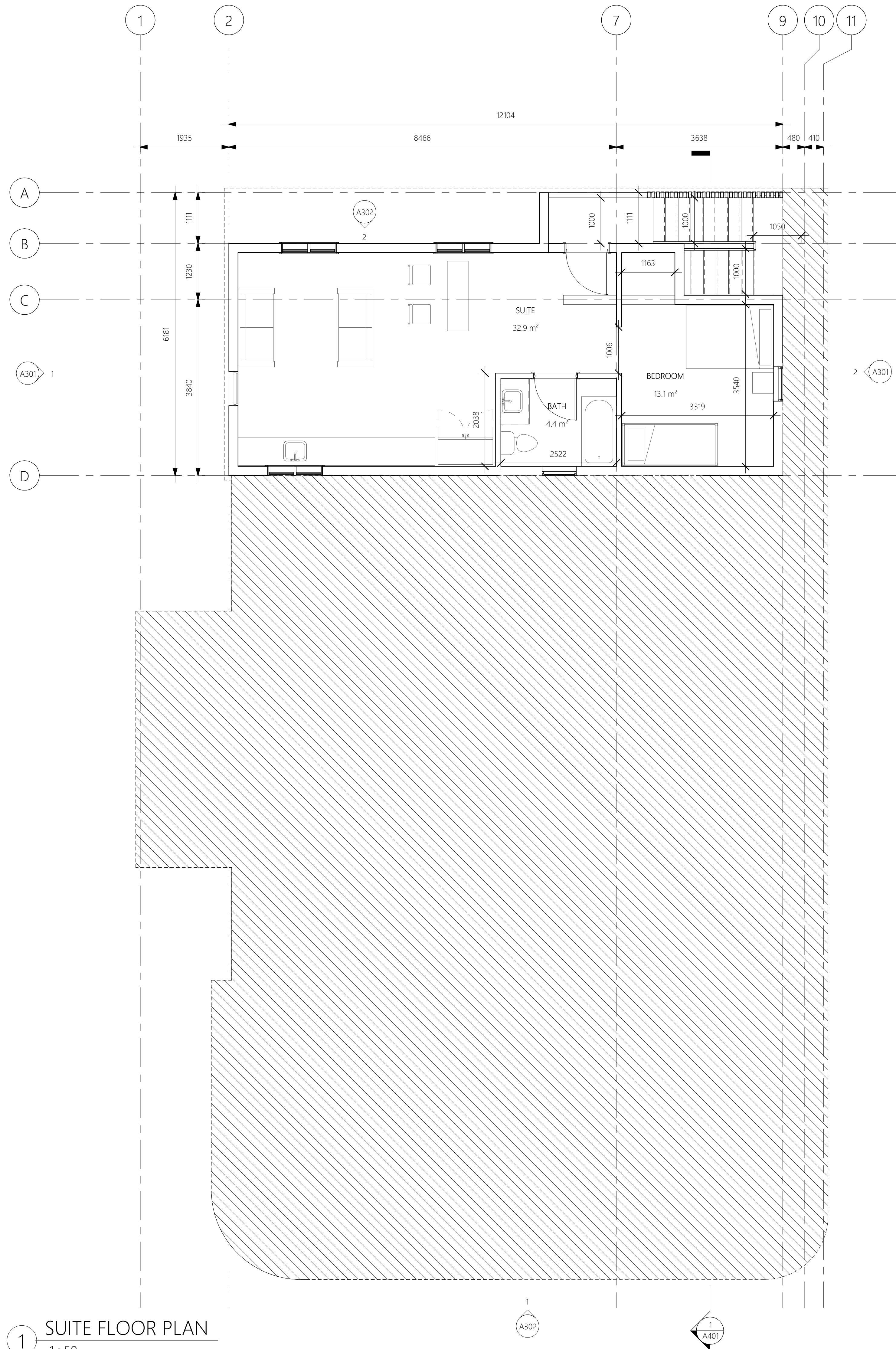
LEGEND

TYPE	DESCRIPTION
	EXISTING ELEMENTS
	NEW ELEMENTS
	OVERHEAD ELEMENTS

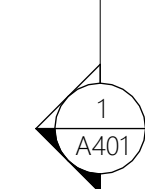
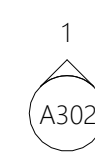
GROSS BUILDING AREAS

FLOOR	AREA
EXISTING MAIN FLOOR	154.1 m ²
PROPOSED MAIN FLOOR	272.3 m ²
PROPOSED SUITE FLOOR	58.3 m ²

NOT FOR CONSTRUCTION



1 SUITE FLOOR PLAN
1:50



2023-09-29 10:42:11 AM

A204



ARCHITECTURE
 #156 Baker Street
 Nelson BC V1L 4G3
 250 354 4445
 coverca

Copyright reserved. This design and drawing is the exclusive property of COVER Architectural Collaborative Inc. and cannot be used for any purpose without the written consent of the Architect. This drawing is not to be used for construction until issued for that purpose by the Architect. Prior to commencement of the Work the Contractor shall verify all dimensions, details and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full Contract Documents, and bring these items to the attention of the Architect for clarification. These drawings must not be scaled. These drawings supersede previous issues.

CONSULTANTS

CLIENT
 KASLO COMMUNITY SERVICES

REVISIONS

REVISION SCHEDULE		
NUMBER	DATE (YY/MM/DD)	ISSUED



KCS BUILDING

ADDRESS
 336 B Ave, Kaslo, BC V0G 1M0

PROJECT #
 23062

DATE
 2023-09-29

DESIGNED BY JM/AW
 CHECKED BY Checker
 DRAWN BY RD

SHEET
 ROOF DEMOLITION PLAN

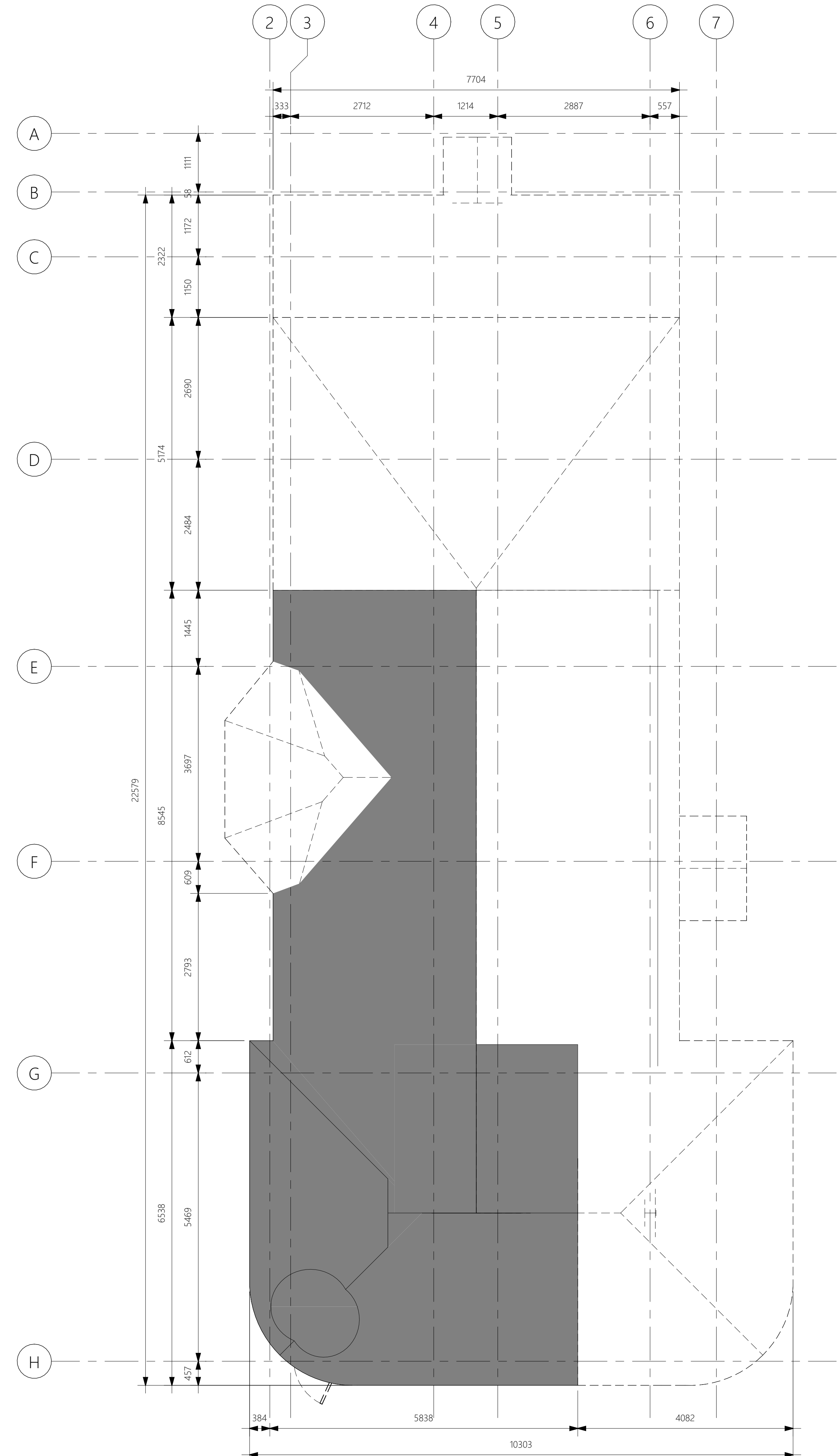
NOT FOR CONSTRUCTION

SHEET NOTES - ROOF PLAN

1. ALL EXTERIOR DIMENSIONS ARE TO CENTRE OF STUD OR FACE OF CONCRETE WALL, U.N.O. ALL ELEVATIONS ARE FROM DATUM ELEVATION MAIN FLOOR - 100 000 mm.

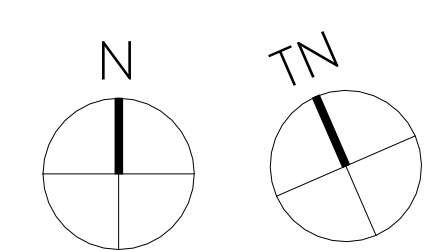
LEGEND

TYPE	DESCRIPTION
	EXISTING ELEMENTS
	EXISTING ELEMENTS TO BE DEMOLISHED
	OVERHEAD ELEMENTS

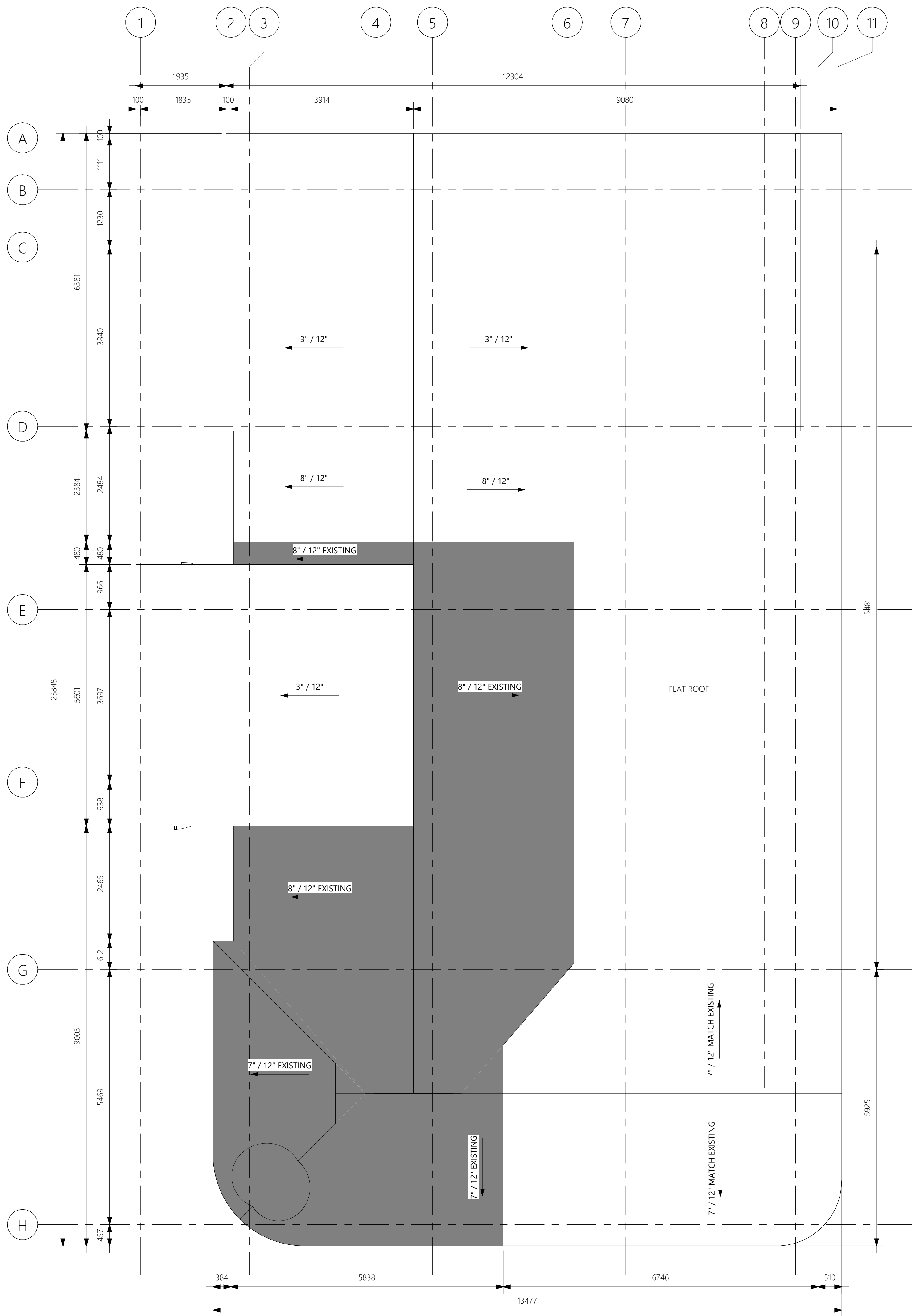


2 EXISTING & DEMO ROOF PLAN
 1: 50

2023-09-29 10:42:11 AM



A205



SHEET NOTES - ROOF PLAN

1. ALL EXTERIOR DIMENSIONS ARE TO CENTRE OF STUD OR FACE OF CONCRETE WALL, U.N.O. ALL ELEVATIONS ARE FROM DATUM ELEVATION MAIN FLOOR - 100 000 mm.

LEGEND

TYPE	DESCRIPTION
	EXISTING ELEMENTS
	NEW ELEMENTS
	OVERHEAD ELEMENTS



ARCHITECTURE
 #156 Baker Street
 Nelson BC V1L 4G3
 250 354 4445
 cover.ca

Copyright reserved. This design and drawing is the exclusive property of COVER Architectural Collaborative Inc. and cannot be used for any purpose without the written consent of the Architect. This drawing is not to be used for construction until issued for that purpose by the Architects. Prior to commencement of the Work the Contractor shall verify all dimensions, details and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full Contract Documents, and bring these items to the attention of the Architect for clarification. These drawings must not be scaled. These drawings supersede previous issues.

CONSULTANTS

CLIENT
 KASLO COMMUNITY SERVICES

REVISIONS

REVISION SCHEDULE		
NUMBER	DATE (YY/MM/DD)	ISSUED

NOT FOR CONSTRUCTION



KCS BUILDING

ADDRESS
 336 B Ave. Kaslo, BC V0G 1M0

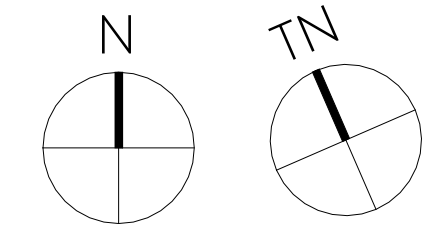
PROJECT #
 23062

DATE
 2023-09-29

REV.

DESIGNED BY JM/AW
 CHECKED BY Checker
 DRAWN BY RD

SHEET
 ROOF PLAN



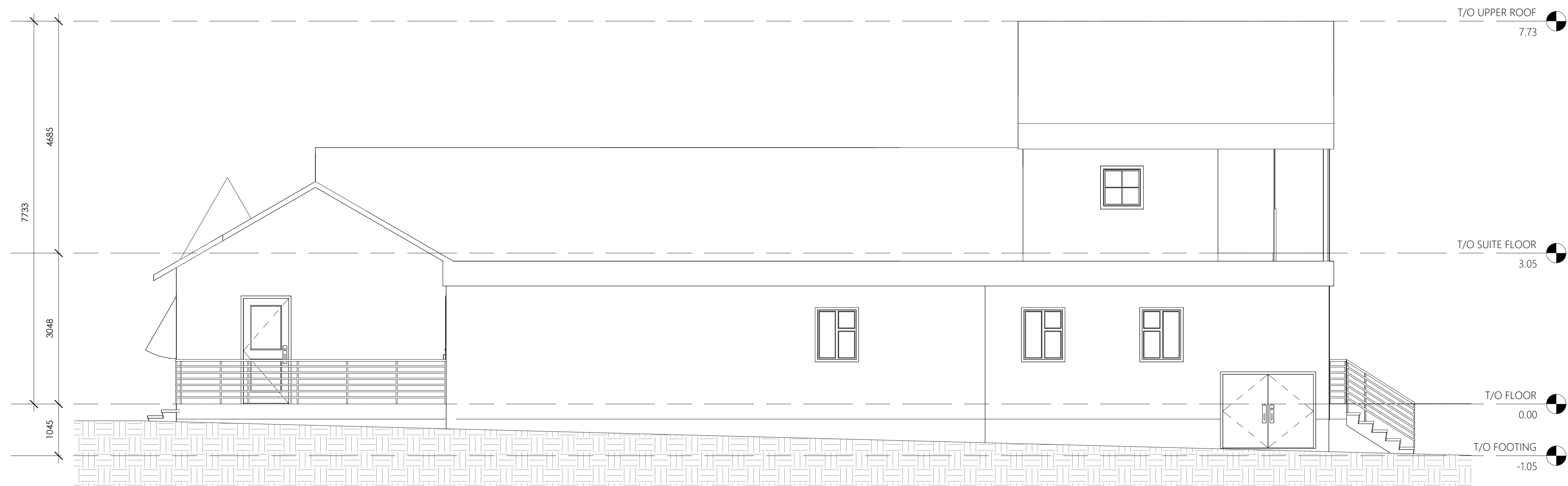
1 NEW ROOF PLAN
 1:50

A206

REVISION SCHEDULE		
NUMBER	DATE (YY/MM/DD)	ISSUED



NOT FOR CONSTRUCTION

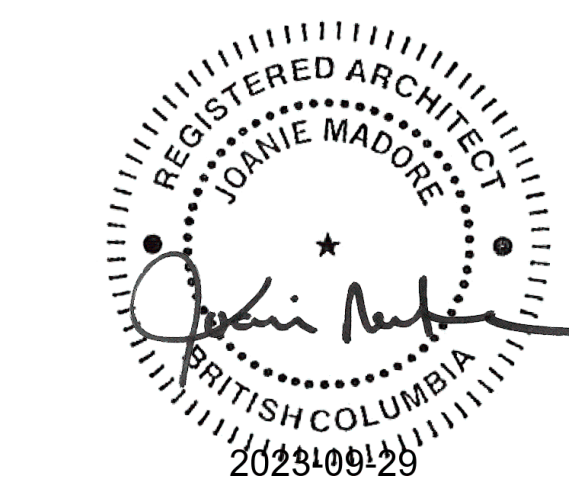


2 EAST ELEVATION
1: 50



1 WEST ELEVATION
1: 50

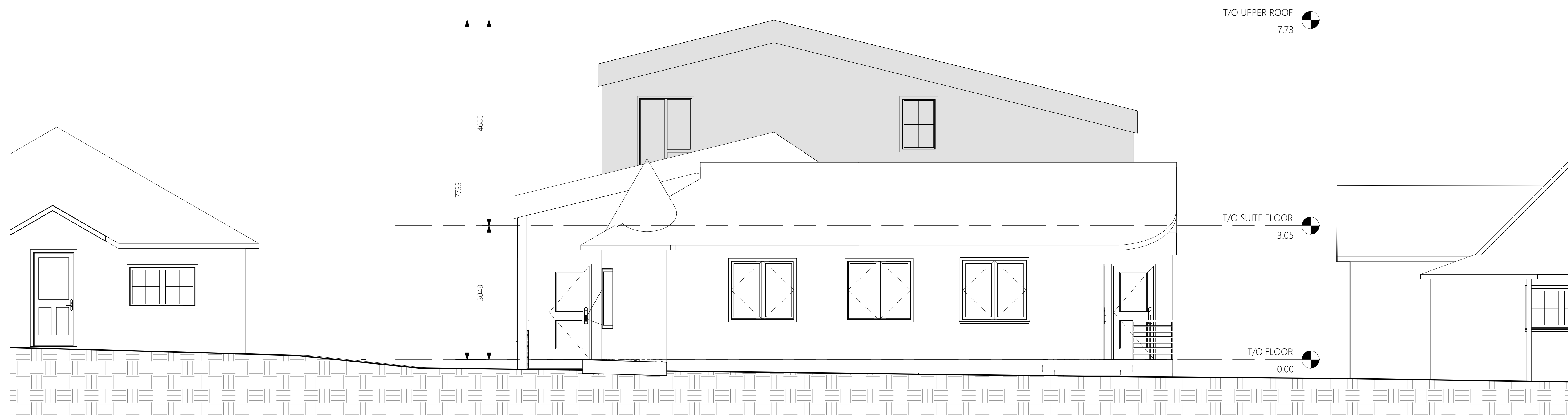
REVISION SCHEDULE		
NUMBER	DATE (YY/MM/DD)	ISSUED



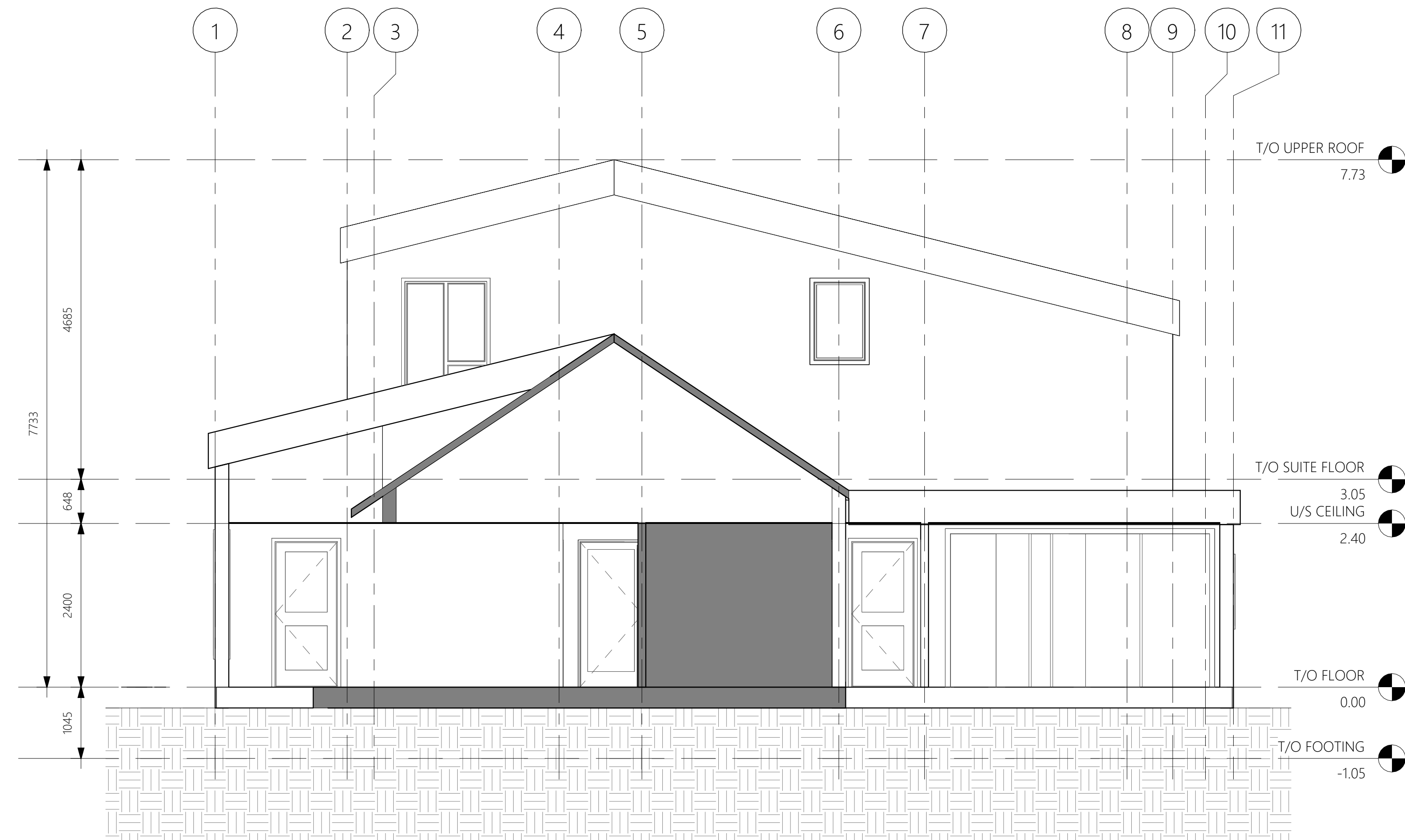
NOT FOR CONSTRUCTION



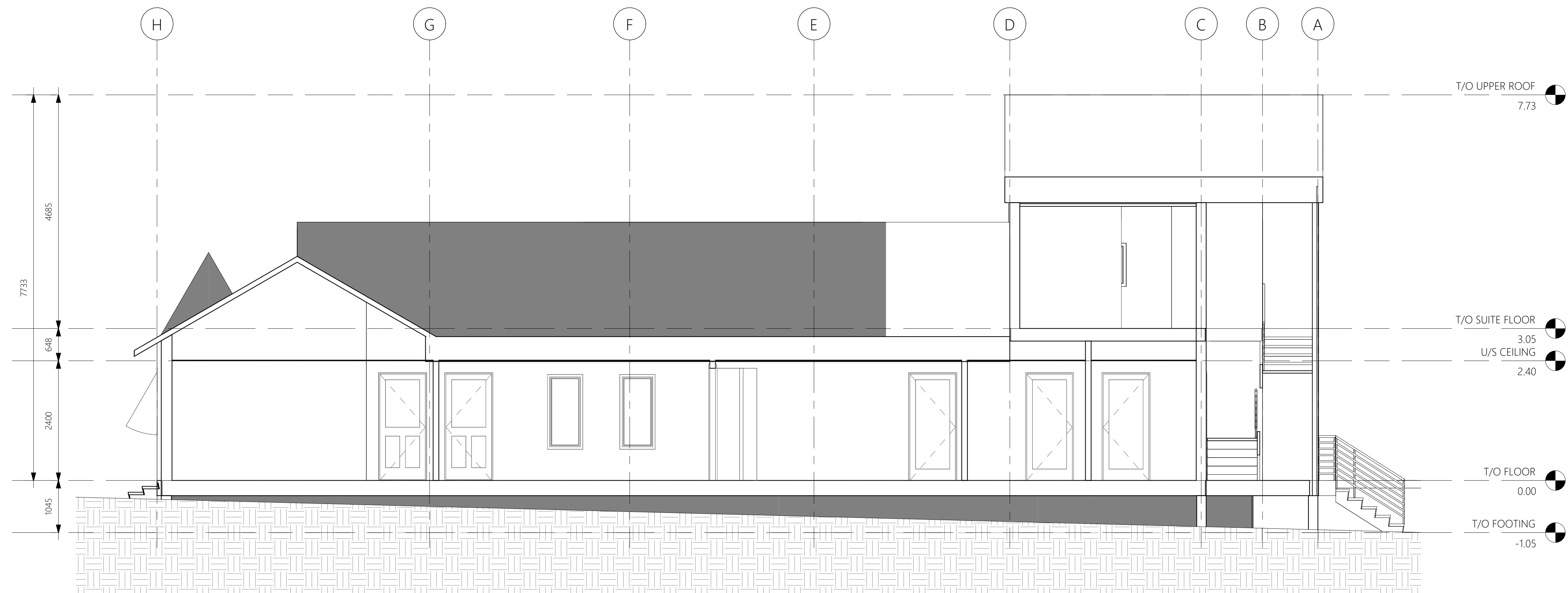
2 NORTH ELEVATION
 1:50



1 SOUTH ELEVATION
 1:50



2 BUILDING SECTION 1
1:50



1 BUILDING SECTION 2
1:50

SHEET NOTES - BUILDING SECTIONS

1. ALL EXTERIOR DIMENSIONS ARE TO CENTRE OF STUD OR FACE OF CONCRETE WALL, U.N.O. ALL ELEVATIONS ARE FROM DATUM ELEVATION MAIN FLOOR - 100 000 mm.

LEGEND

TYPE	DESCRIPTION
	EXISTING ELEMENTS
	NEW ELEMENTS
	OVERHEAD ELEMENTS



ARCHITECTURE
4156 Baker Street
Nelson BC V1L 4G3
250 354 4445
cover.ca

Copyright reserved. This design and drawing is the exclusive property of COVER Architectural Collaborative Inc. and cannot be used for any purpose without the written consent of the Architect. This drawing is not to be used for construction until issued for that purpose by the Architect. Prior to commencement of the Work the Contractor shall verify all dimensions, details and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full Contract Documents, and bring these items to the attention of the Architect for clarification. These drawings must not be scaled. These drawings supersede previous issues.

CONSULTANTS

CLIENT
KASLO COMMUNITY SERVICES

REVISIONS

REVISION SCHEDULE		
NUMBER	DATE (YY/MM/DD)	ISSUED



KCS BUILDING

ADDRESS
336 B Ave. Kaslo, BC V0G 1M0

PROJECT #
23062

DATE
2023-09-29

DESIGNED BY JM/AW
CHECKED BY Checker
DRAWN BY RD

SHEET
BUILDING SECTIONS

A401

NOT FOR CONSTRUCTION

PREPARED BY: Ian Dunlop (Staff)

DATE: January 2, 2024

SUBJECT: DVP 2023-14 – 426 Washington St. (PID 027-902-528, Folio 533.321130)

PURPOSE: This application requests a **Development Variance Permit** to allow a carport in the front yard and reduce the front setback requirement for a proposed carport at 426 Washington St.

RECOMMENDATION: That Council approve Development Permit application DVP 2023-14 to waive the requirement of Land Use Bylaw #1130 that parking spaces in residential zones must be located no closer to the front lot line than the front face of the principal building and to reduce the front setback requirement from 7.5 metres to 3.6 metres for a carport, conditional on the applicant obtaining a setback permit from the Ministry of Transportation and Infrastructure.

ANALYSIS:

- A. **Background:** The applicant, Robert Kohn, would like to construct a carport over the existing driveway at 426 Washington St (Hwy 31A). The existing parking area is located in the front yard of the property beside a fenced garden.

- B. **Discussion:** Section 4.3 of Village of Kaslo Land Use Bylaw No. 1130 requires that “parking spaces in residential zones must be located no closer to the front lot line than the front face of the principal building.” The driveway has existed in its present location for many years and is therefore deemed to be legally non-conforming to this bylaw requirement. The non-conforming status does not extend to adding a carport over the existing parking area.

The applicant originally proposed a carport with a setback of about 1.8m (6 feet) from the front property line. There is approximately 5.5 metres of driveway between the property line and the edge of the paved surface of Washington Street. A front setback for the structure of 1.8m is too close to the road, as visibility is poor. The property is large, 130' x 125', so the first consideration in assessing the variance request is why it is not possible to conform to the requirements of the bylaw on such a large lot.

The applicant would like to retain the fenced garden area that is located at the top end of the driveway. The area in front of the house includes mature trees and landscaping that would detrimentally affect by moving the driveway. The house is also set far back on the lot, so building a driveway so that the parking is behind the front face of the house would be wasteful. However, Washington Street is a provincial highway, and a reduction from 7.5 metres to 1.2 metres for the proposed carport could not be supported.

Staff met with the applicant on site and discussed possible design alternatives to reduce the variance required. There is a grade change between the driveway and the garden, which can be filled in with a retaining wall and extend the driveway back from the front property line. The applicant submitted revised drawings with this increased setback which will improve safety and visibility for vehicles maneuvering in and out of the carport and driveway. The setback requested is 3.6 metres. An overhang of 0.6 metres into the setback is permitted in the bylaw.

This application was referred to the Ministry of Transportation and Infrastructure (MOTI) for comment, as the proposed carport will front on provincial highway 31A. MOTI responded that they have no concerns with the proposed setback, but the applicant is required to obtain a setback permit from their office before issuance of a building permit.



C. Conclusion

Staff consider the requested variances are minor and do not diminish the intent of the Land Use Bylaw and OCP due to the unique circumstances, and the carport being an unclosed structure. Approval of the variance to reduce the front setback for the carport and recognize the non-conforming parking in the front yard is recommended.

Because MOTI requires a setback permit be issued prior to issuance of a building permit, Council approval of this variance permit will be conditional on the applicant obtaining the MOTI setback permit.

D. Attachments:

- 2023.12.23 Email from Ministry of Transportation and Infrastructure
- DVP2023-14 Application Package
- Pages from Land Use Bylaw 1130 pertaining to parking and R-1 requirements.

CAO Approval:

From: Wheaton, Mikaela MOTI:EX <Mikaela.Wheaton@gov.bc.ca>
Sent: Thursday, December 21, 2023 2:55 PM
To: Ian Dunlop (CAO Kaslo) <cao@kaslo.ca>
Cc: Catherine Allaway <allaway@kaslo.ca>
Subject: Municipal Referral, MoTI File 2023-05517, Your File # DVP 2023-14

Good Afternoon,

The Ministry has no concerns with the proposed setback variance to decrease the setback from Highway 31A (Washington Street) to 3.6 metres (with optional 0.6 metre overhang), subject to the applicant obtaining a setback permit from our office prior to issuance of a building permit.

The applicant can apply online using the following steps:

Online Application Instructions:

1. First go to this location <https://www.bceid.ca/register/>, apply for a **Basic BCeID** account and a BCeID User ID. This User ID will give you access to several government services. Our services are not in the drop-down menu on their page, so write your User ID and go to our next step.
2. When you are ready to apply, you will need to access our online system through this link <https://posse.th.gov.bc.ca/DAP/default.aspx> Use your **BCeID** login to this system. Please make sure to update your contact information including your mailing address.
3. Choose **Apply for Permit** from the menu on the left of the screen. On the first page in the **Type** field, choose **Works: Cattleguards and Gates** from the drop-down menu. Choose **West Kootenay District** for the **MoT Office** field.
4. Follow through each page, enter information, and upload documents. Please complete the **Location** map with an accurate pin by zooming in to the site. Include a physical address for the permit holder to prevent delays.
5. Make sure you click on the **Submit** button on the last page.

Should the applicant have any questions regarding the permit, they can contact me directly. Should they have questions regarding applying online, they will need to contact BCMOT.WKD@gov.bc.ca.

Thank you,

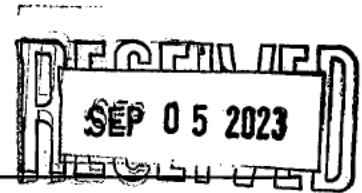
Mikaela Wheaton

Development Services Officer | West Kootenay District
Ministry of Transportation & Infrastructure
4th Floor, 310 Ward Street, Nelson, BC
Phone: (778) 463-5575



VILLAGE OF KASLO DEVELOPMENT APPLICATION FORM

(for use with Bylaw 1283)



TYPE OF APPLICATION

- Rezoning/Land Use Bylaw Amendment
- Official Community Plan Amendment
- Development Permit _____
- Development Variance Permit
- Temporary Use Permit

- Type of Development Permit
- Heritage & Commercial Core
 - Lakefront Protection
 - Stream Protection
 - Wildfire

Refer to the current Fees and Charges Bylaw for current application fees.
Do not use this form for Building Permit or Subdivision applications.

DESCRIPTION OF PROPERTY

Civic Address: 426 WASHINGTON ST. KASLO ID 027-902-528

Legal Description (from title document):

LOTA PLAN NEPB9000 DISTRICT LOT 208

CONTACTS

Applicant:

Name ROBERT KOEN		Company	
Address 426 WASHINGTON ST.		City KASLO	
		VOG 1 MO	
Phone		Fax	
Signature of Applicant		Date SEP 5, 2023	

Owner, if the Applicant is not the Owner:

Name		Company	
Address		City	
Email		Postal Code	
Phone	Cell	Fax	

The "Authorization of Owner" form signed by the owner(s) is also required.

OFFICE USE ONLY

Date	Dev. File No.
Received By	Folio No.
Receipt No.	Fees \$

Mayor and Council
Village of Kaslo

Sept 5, 2023

Dear Mayor and council,

I would like to request a development variance permit for the purpose of constructing a carport on my property at 426 Washington St. Kaslo.

426 Washington St.
Lot A plan NEP89000
District Lot 208
Kootenay Land District
PID: 027-902-528

The requested variance would allow the carport to be built closer to the road than is allowed under Kaslo Land Use Bylaw No. 1130. Also bylaw 1130 requires that parking be beside or behind the front face of the house and this is not feasible for my lot.

The rationale for the variance is that there is an existing built up gravel parking area in the space where the carport would be built. I simply want to put a roof over my vehicle. The carport would also allow a proper space for installing a charging port in the event that I get an electric vehicle.

I would like to point out that there is an 18 foot setback from the road to my property boundary. I think that this is a right of way for the highway. Given the dimensions of the existing parking area there would therefore be a distance of about 20 feet from the road to the foundation piers for the proposed carport.

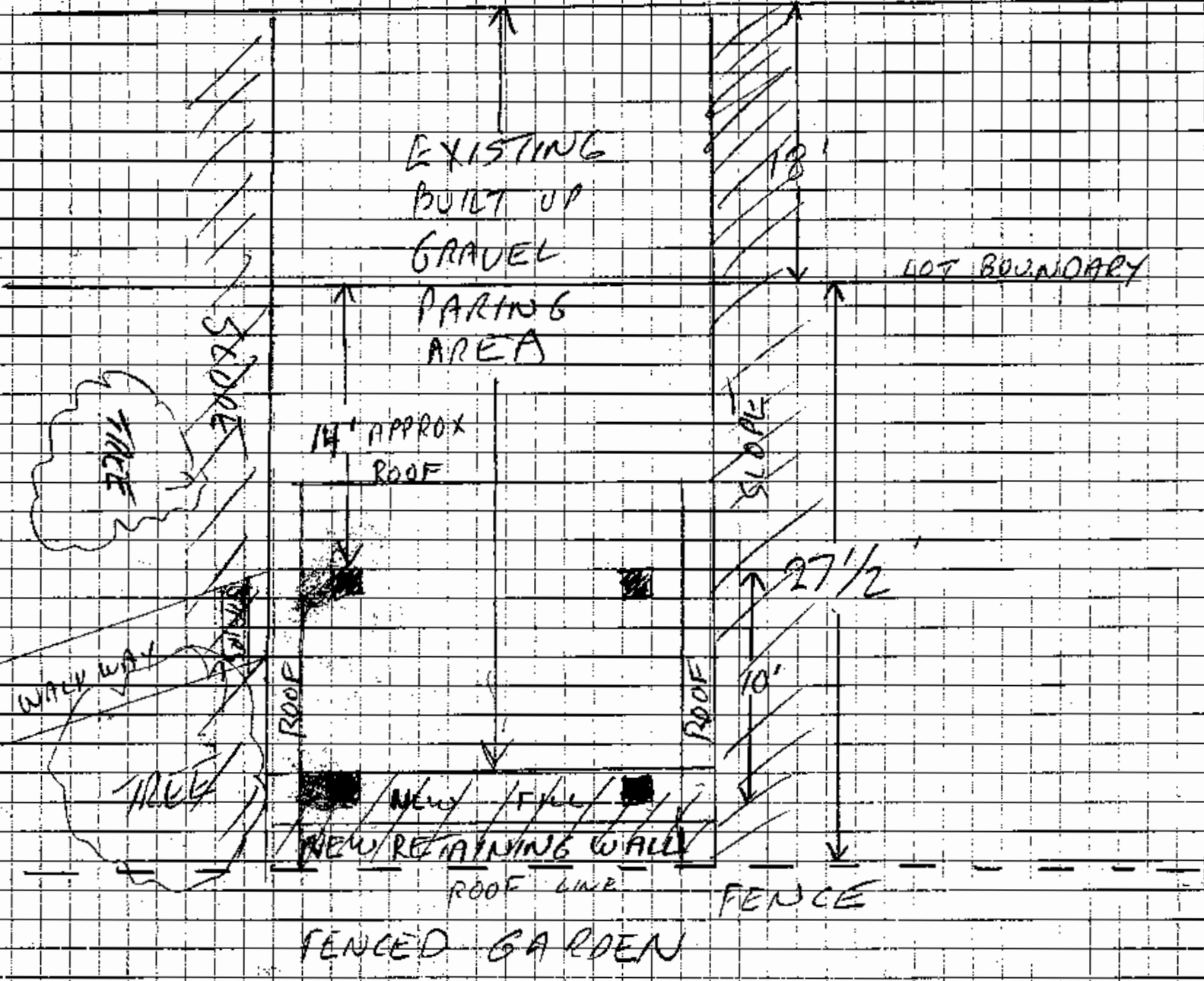
I have included a sketch of the property showing the location of the house and the existing built up gravel parking area. There is a more detailed sketch of the existing parking area showing the proposed placement of the carport. There is also a sketch showing a preliminary plan for the carport showing the view from the road and a side view looking north.

Thank you for your consideration of this requested development variance permit.

Sincerely,

Robert Koen
426 Washington St. Kaslo

HWY 31A PAVEMENT



426 WASHINGTON ST.
 KASLO
 LOT A PLAN NEP 89000
 DISTRICT LOT 208
 ROOTENAY LAND DISTRICT
 PID: 027-902-528

NEW PROPOSAL: ADD A RETAINING WALL AND FILL TO
 ENABLE FENCING THE CAR PORT FARTHER
 BACK FROM THE LOT BOUNDARY

3.0 ZONING REGULATIONS

3.1 R-1 – SINGLE FAMILY AND TWO FAMILY RESIDENTIAL

3.1.1 Permitted Uses

- a. Single Family Dwelling and Two Family Dwelling
- b. School, Church, Hospital, Personal Care Facility and Day Care
- c. Public buildings and uses
- d. Accessory Uses and Buildings
- e. Home occupation
- f. Bed and Breakfast , subject to the regulations in section 2.9.
- g. Carriage House/ Secondary Suites subject to regulations 2.13 or 2.10
- h. Short Term Rental Accommodation, subject to same regulations in Section 2.9 as Bed and Breakfast home occupations.

3.1.2 Lots created by Subdivision

- a. Single Family Dwelling:
 - (i) Site Area (minimum): 464 square metres (4,994.5 square feet)
 - (ii) Street Frontage (minimum): 15 metres (49.2 feet)
- b. All other uses (including duplexes and semi-detached dwellings):
 - (i) Site Area (minimum): 765 square metres (8,234 square feet)
 - (ii) Street Frontage (minimum): 22 metres (72.2 feet)

3.1.3 Height

- a. Building height (maximum) **10m**

3.1.4 Setbacks and Projections

- a. Front Yard setback (minimum) **7.5m**
- b. Rear Yard setback (minimum) **4.5m**
- c. Side Yard setback (minimum) **1.5m** from interior lot line
- d. Side Yard setback (minimum) **4.5m** from exterior lot line
- e. Projections (maximum) **0.6m** into setback

3.1.5 Site Coverage, Open Site Space and Parking

- a. **Site coverage** (maximum) **40%**
- b. **Open site space** (minimum) **30%** of the area of a lot and **33%** of a rear yard
- c. **Parking** Subject to the regulations in Section 4



REQUEST FOR COUNCIL DECISION

PREPARED BY: Catherine Allaway, Corporate Officer

DATE: January 5, 2024

SUBJECT: Development Permit Application – 331 Front Street

PURPOSE: To consider a Heritage and Commercial Core Development Permit application for the “1896 Building” located at 331 Front Street.

OPTIONS:

Recommendation is indicated in **bold**. Implications are in *italics*.

1. **Refer the application to the Art & Heritage Committee. An Art & Heritage Committee meeting will be held to review the application and make a recommendation to Council.**
2. Approve the DP. *The proponent will be able to proceed with their plans.*
3. Deny the DP. *The proposed changes to the building will not be allowed.*
4. Refer back to staff for further review and report.

RECOMMENDATION:

THAT the Development Permit Application for the property located at 331 Front Street be referred to the Art & Heritage Committee.

ANALYSIS:

- A. **Background:** The 1896 Building is located on the south side of Front Street between the Angry Hen (to the west) and a vacant parcel, in the Heritage and Commercial Core Development Permit Area (DPA) identified in the Village’s Official Community Plan (OCP). The building was constructed in 1896 and was formally designated as a heritage structure in 2011. The building is listed in Kaslo’s Community Heritage Register, on the BC Register of Historic Places and Canada’s Register of Historic Places (<https://www.historicplaces.ca/en/rep-reg/place-lieu.aspx?id=19034>)
- The owners of the building have submitted an application for a Heritage and Commercial Core Development Permit (DP) which is required prior to alteration of the building exterior. Staff has reviewed the application and determined that the proposal is not consistent with the Building Design Guidelines (available here) in the OCP so it can not be approved at the staff level and must be forwarded to Council for consideration. Council may choose to consider the application, or it may wish to refer the matter to the Art & Heritage Committee, established for this purpose.
- B. **Discussion:** According to the Statement of Significance for the heritage asset, the primary value lies in the architecture and construction materials. Key character defining elements include the brick details, arched window openings, with the bricks, window frames and 1896 sign dating to the time of construction. The proposed design involves changes to these elements.

If the matter is referred to the Art & Heritage Committee, a meeting will be scheduled to review the application and report their recommendation to Council, within 21 days. The recommendation from the committee would be expected on the agenda for the 2024.02.13 meeting.

C. Attachments:

- 1896 Building Photos
- 1896 Building Statement of Significance (Community Heritage Register)
- Art & Heritage Committee Terms of Reference
- Heritage and Commercial Core Guidelines (OCP excerpt)
- Development Permit Application
- Building Design Guidelines

D. Financial Implications: The \$250 application fee has been paid.

E. Corporate Priority: Nil

F. Environmental Impact: Nil

G. Communication Strategy: Nil

CAO Approval: [Date approved by CAO]



1896 Building



Description:

The 1896 building is a two-story classical style brick building with two wooden pillars framing the front entrance, the large windows on both sides, and a second front entrance leading to the top floor. This historic place includes the building on its lot, located at the eastern end of downtown Kaslo.

Historical Value:

The value of this historic place lies in its architecture and construction materials. It is a unique example of a classical two-story brick building in Kaslo, with a tie-bar, bull nose detailing, and brick arched windows. Value lies in the historical relevance of being one of the first buildings to be made of brick from the Kaslo based Millington Brothers Brick and Tile Yard, which demonstrates the cultural importance of early citizen's commitment to make a living on Kootenay Lake.

Built in 1896 for Riedel & Kuester Bakers & Grocers, this historic place has value because it exemplifies an important stage in the economic development of Kaslo and immediately evokes an era when early businesses took a foot-hold. The 1896 Building is also valued for its role in the continuum of economic and spiritual development within our community.

Character Defining Elements:

- The late nineteenth-century character architectural detailing of the building, as seen in such elements as the tie-bar, the arched window openings and the corbelled bullnose detail
- All material dating to the time of construction, including bricks, window frames, and 1896 sign
- The two-story scale
- Two large street level windows
- Separate street level second floor entrance with glassed door and transom window
- Use as commercial space

Authors: Employment Edge Kaslo BC – Dale Callan, Jeremy Taylor, Samantha Howells, Kara-lee Bzowy, Celina Gabriel. March 9, 2011



ART & HERITAGE COMMITTEE

EFFECTIVE DATE: January 10, 2023

RESOLUTION #: 10/2023

PURPOSE: The committee is a Select Committee, established by Council resolution to consider or inquire into any matter and to report its findings and opinion to the council. (CC s.141)

Mandate

The Art & Heritage Committee is a Select Committee of Council which is responsible for making recommendations to Council regarding public art selections and the application of Heritage Design Guidelines for buildings in the downtown area.

The committee will make recommendations to Council regarding Heritage and Commercial Core DPA applications where the proposed development does not align with existing Heritage Design Guidelines.

Reporting

The committee will report annually to Council regarding public art selections.

The committee will report to Council following consideration of a DPA application.

Schedule

The committee will meet annually to consider public art issues.

The committee will meet within 15 business days of a Heritage and Commercial Core DPA application being referred by Council.

MEMBERSHIP: All appointments to voting positions must be made by resolution of Council.

Term

Appointments shall be for a 4 year term. Appointments may be rescinded at any time by Council and vacancies may be filled by Council resolution.

Composition

The voting members of the Committee shall be:

- The Mayor of Kaslo or their designate
- 1 additional member of Council
- up to 5 members of the public

Staff may attend meetings at the discretion of the CAO, to provide procedural or subject matter advice, but will not have voting rights.

Quorum

Quorum shall be 4 voting members (one must be a member of Council) of the Committee.

RESOURCING:

The Corporate Officer or their designate will ensure that meeting notices are posted, agenda packages are distributed, minutes are recorded, and meeting materials are available for public inspection.

PROCEDURE:

Council may refer specific matters to the Committee at any time.

The provisions in the Council Procedures Bylaw regarding Committees will apply.

16.3 Heritage and Commercial Core DPA

16.3.1 Context and Purpose

The Heritage and Commercial Core DPA is established for the purpose of revitalizing the commercial core and preserving the general form and character of commercial and multi-family development in the designated areas, pursuant to Sections 488(1)(d) and 488(1)(f) of the Local Government Act.

The lands within the Heritage and Commercial Core DPA are defined in Map C. This DPA also includes properties that are designated in municipal, provincial, or national heritage registries, including two National Historic Sites.

This area is the historical commercial centre of Kaslo and the primary focus of pedestrian-scale retail, commercial and institutional services. The Heritage and Commercial Core DP is intended preserve Kaslo's historical, artistic, and architectural features, and encourage new development to follow design guidelines that are respective and complimentary to those historical attributes.

16.3.2 Regulated Development

Within the Heritage and Commercial Core DPA, land shall not be subdivided and construction of, addition to, or alteration of a building or structure shall not be commenced unless the owner first obtains a development permit.

16.3.3 Guidelines

1. The design guidelines for the Heritage and Commercial Core DPA are specified in Appendix II: Heritage Design Guidelines, and Appendix III: Colour Design Guidelines. These documents were originally produced by heritage designer Robert Inwood in 1991 through careful research into Kaslo's colonial period architecture and historic streetscape of

the 1890s through 1930s, which resulted in a successful Heritage Area Revitalization Program that restored and revitalized several downtown buildings in the 1990s.

2. Developments in this area should also enhance the pedestrian experience by engaging the street both visually and physically and highlight the views and connections to the surrounding landscape.
3. Development of commercial and multi-family residential properties within the Heritage and Commercial Core DPA are subject to general form and character guidelines but not necessarily to particulars of the landscaping or of the exterior design and finish of buildings and other structures.
4. A development permit issued in the Heritage and Commercial Core Development Permit Area may include conditional requirements respecting the character of the development including the siting, massing, general landscaping, form, exterior design and colour choices of buildings and structures, and the design and installation of signage.

16.3.4 Exemptions

1. Development permits are not required within the Heritage and Commercial Core DPA for:
 - a. internal alterations that do not affect the outer appearance of a building, or
 - b. for routine exterior maintenance, including painting provided that the paint colour is compatible with the Colour Design Guidelines.
2. Single-family dwelling and duplex residential development are not subject to the Heritage and Commercial Core DPA.
3. Street patios and chattels placed in public space shall be subject to regulation by bylaw or policy.

LAND USE PLAN

16.3.5 Application and Review Procedure

1. An application for a Heritage and Commercial Core DP should include a statement or report describing the design rationale and how the Building Design Guidelines and Colour Design Guidelines have been considered in the proposed development.
2. After receipt of a complete application, village staff shall review the application and, within 10 business days, may:
 - a. approve the application if it clearly meets the Heritage and Commercial Core DPA requirements;
 - b. approve the application with conditions relating to general form and character;
 - c. request additional design details or professionally rendered drawings from the applicant;
 - d. refer the application to Council, or;
 - e. may deny the permit if the development is not compatible with the Heritage and Commercial Core DPA requirements.
3. A denial, or conditions of approval, may be appealed to Council by the applicant.
4. An application that proposes signage, awnings, overhangs, lighting, or decorative facade features, such as cornices, that project into or over the public street must be approved by Council.
5. If an application is referred or appealed to Council, the village shall notify property owners within 60 metres of the property of Council's intention to consider the application at least seven days before the Council meeting.
6. When first considering the application, Council may assign a Heritage Design Review Committee to review the application and make a recommendation before deciding.
7. The Heritage Design Review Committee must provide its recommendation to Council within 21 days of Council's first consideration of the application.



VILLAGE OF KASLO DEVELOPMENT APPLICATION FORM

(for use with Bylaw 1283)

TYPE OF APPLICATION

- | | | | |
|--------------------------|-----------------------------------|--------------------------|----------------------------|
| <input type="checkbox"/> | Rezoning/Land Use Bylaw Amendment | <input type="checkbox"/> | Type of Development Permit |
| <input type="checkbox"/> | Official Community Plan Amendment | <input type="checkbox"/> | Heritage & Commercial Core |
| <input type="checkbox"/> | Development Permit _____ | <input type="checkbox"/> | Lakefront Protection |
| <input type="checkbox"/> | Development Variance Permit | <input type="checkbox"/> | Stream Protection |
| <input type="checkbox"/> | Temporary Use Permit | <input type="checkbox"/> | Wildfire |

Refer to the current Fees and Charges Bylaw for current application fees.
Do not use this form for Building Permit or Subdivision applications.

DESCRIPTION OF PROPERTY

Civic Address: _____ PID _____

Legal Description (from title document):

CONTACTS

Applicant:

Name		Company	
Address		City	
Email		Postal Code	
Phone	Cell	Fax	
Signature of Applicant		Date	

Owner, if the Applicant is not the Owner:

Name		Company	
Address		City	
_____		_____	
_____		Postal Code	
_____		_____	
Phone	Cell	Fax	
_____		_____	

The "Authorization of Owner" form signed by the owner(s) is also required.

OFFICE USE ONLY

Date	Dev. File No.
Received By	Folio No.
Receipt No.	Fees \$

STAND

ARCHITECTURE

To: Mayor and Council
Village of Kaslo

Re: Renovations to 331 Front Street, Kaslo BC

Stand Architecture, on behalf of our client, Cassidy Jakovickas, has prepared the following rationale to accompany our application for a development permit and building permit.

The property, known as the 1896 building, is an important element of Kaslo's Heritage and Commercial Core. The building is 127 years old, and has held a variety of occupancies over the years, including a commercial bakery.

Most recently, and for an undetermined amount of time, the property has contained 3 residential suites, and one commercial suite at the street face of the building.

The intention for the project is to renovate all 4 suites with no change to the type of occupancies.

The exterior of the building will not be substantially altered. There will be no new openings created in any of the facades. Most windows will be replaced with new energy efficient windows to match those currently in place. All doors and window frames will be black.

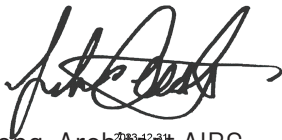
The exceptions to this include the window into the new shared utility room which will be replaced with a door. In the same room, the window in the west wall will be bricked over to eliminate the fire exposure to the window in the adjacent suite. Please see attached plans for reference.

On the street facade, due to code, on the upper floor two of the double hung windows need to be full pane glass to allow fire access, and will be awning windows. Their dimensions will remain unchanged. The remaining two windows will be single hung as per the current windows.

At the street level, the facade will be refreshed, using the current facade and a historical photo for reference.

Please refer to the images on the next page and the submitted drawings for further information.

Please be in touch with any questions,



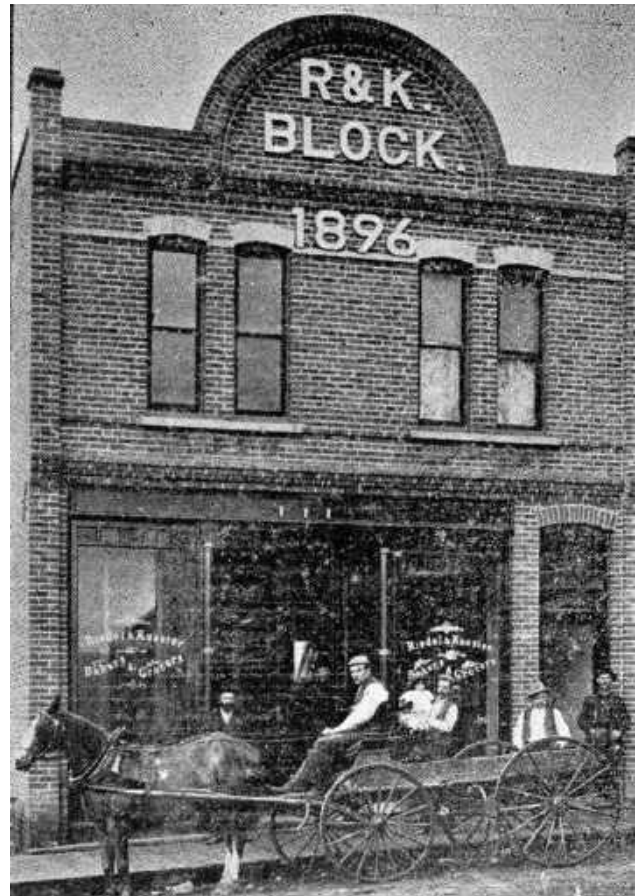
Lukas Armstrong, Architect AIBC
Stand Architecture
lukas@standarchitecture.com
250 219 1878

STAND

ARCHITECTURE



Current Facade



Reference Image



Proposed Facade

The proposed facade is a mix between the current facade and the reference image.

The rendered image is not totally accurate. All existing brick elements will remain unchanged.

The current wood cladding has been replaced with new matching wood cladding, oxidized with "Lifetime Wood Preserver".

The post and beam have been returned to the original black.

The walls run behind the post and beam to improve energy efficiency. The street number is located on a new section of wall that hides the offset 1990's post that was installed. A classic gooseneck light fixture will illuminate the street numbers.

Two of the upper windows are single hung to match existing. Two are large fixed panes to meet fire code. The lower windows are large fixed panes with transom windows above in reference to the historical windows. All frames are black, as in the reference image.

331 FRONT STREET RENOVATION

ISSUED FOR DEVELOPMENT/BUILDING PERMIT
2023-12-29

PROJECT NAME

331 FRONT STREET RENOVATION

ADDRESS

331 FRONT STREET
KASLO BC
VOG1M0

CLIENT

OWNER

DRAWING NOTES

IMAGES ON THIS DRAWING ARE INCLUDED FOR CONCEPTUAL UNDERSTANDING ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION REFERENCES.

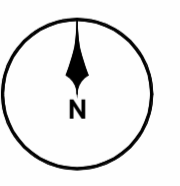
DRAWING LIST

- A0 COVER
- A1 INFO
- A2 LIFE SAFETY
- A3 SCHEDULES
- A4 SITE
- A5 BASEMENT
- A6 LEVEL 1
- A7 LEVEL 2
- A8 ROOF
- A9 ELEVATIONS
- A10 ELEVATIONS
- A11 ELEVATIONS
- A12 SECTIONS
- A13 DETAILS
- A14 ACCESSIBILITY
- A15 FIRESTOPPING

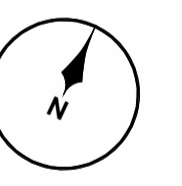


SEAL

TRUE



PROJECT



USE



REVISIONS/HISTORY

DATE	NUMBER	DESCRIPTION
2023-12-29	0	-

SHEET NAME

COVER

SHEET NO.

A0

REV. NO.

GRAPHIC LEGEND

NORTH

SECTION REFERENCE

ELEVATION REFERENCE

LEVEL REFERENCE

ROOM NAME
AREA
101

ROOM TAG

KEYNOTE

WALL TAG

FLOOR TAG

CEILING TAG

ROOF TAG

WINDOW TAG

DOOR TAG

PLUMBING TAG

APPLIANCE TAG

FURNITURE TAG

BEAM TAG

COLUMN TAG

FOOTING TAG

CONCRETE

EARTH

GRAVEL

G.W.B.

INSULATION BATT/BLOWN

METAL

PLYWOOD

WOOD

NOT IN SCOPE

NEW

EXISTING

DEMOLISH

NOT IN SCOPE

GENERAL NOTES

- ALL DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION. COORDINATE WITH CONSULTANT ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL EXTERIOR DIMENSIONS ARE REFERENCED FROM THE OUTSIDE FACE OF SHEATHING OR OUTSIDE FACE OF CONCRETE, TYPICALLY IDENTIFIED BY GRIDS.
- ALL INTERIOR DIMENSIONS ARE REFERENCED FROM THE WALL STRUCTURE CENTRELINE.
- DRAWINGS ARE NOT INTENDED TO BE SCALED. COORDINATE REQUIRED DIMENSIONS WITH CONSULTANT.
- THIS DRAWING PACKAGE IS NOT ACCOMMODATED BY MASTER FORMAT SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROCURE COMPATIBLE AND BCBC COMPLIANT PRODUCTS AND INSTALL THEM ACCORDING TO THEIR MANUFACTURER'S INSTRUCTIONS.
- MECHANICAL AND ELECTRICAL ITEMS SHOWN ON THESE DRAWINGS ARE FOR GENERAL LOCATION PURPOSES ONLY. THEY ARE TO BE VERIFIED AND INSTALLED TO CODE BY THEIR RESPECTIVE RED SEAL SUB CONTRACTORS.
- THE CONTRACTOR SHALL HIGHLIGHT AND ADVISE OF ANY MISSING ELEMENTS, DEFICIENCIES, AND DISCREPANCIES WITHIN THESE DRAWINGS AS WELL AS IN RELATION TO THE SITE.
- ALL PRODUCTS PROCURED ARE TO BE IN COMPLIANCE WITH THE BCBC AND INSTALLED AS PER SUPPLIER/MANUFACTURER'S SPECIFICATION. SHOULD THEIR SPECIFICATION ALTER THE DESIGN, CONSULT THE DESIGNER.
- SHOP DRAWINGS ARE TO BE ISSUED TO THE CONSULTANT FOR REVIEW PRIOR TO CARRYING OUT THE WORK. THE CONSULTANT'S REVIEW DOES NOT ALLEVIATE THE CONTRACTOR FROM ENSURING THEY CONFORM WITH THE DESIGN.
- DEPICTION OF GRADE IS APPROXIMATE. THE CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS TO ACHIEVE INTENDED DESIGN.
- PRODUCTS DAMAGED AS A RESULT OF CONSTRUCTION OR DEMOLITION SHALL BE REPAIRED TO MATCH ADJACENT SURFACES.
- SHOULD ANY DUCTS, PIPES, CONDUITS, WIRING, OUTLET BOXES, OR OTHER "PENETRATIONS" PENETRATE A FIRE SEPARATION, CONTRACTOR TO SUPPLY FIRESTOPPING CUTSHEET OF PROPOSED FIRESTOPPING FOR THE CONSULTANTS' REVIEW. CONTRACTOR SHALL NOT PROCEED UNTIL THE CONSULTANT PROVIDES WRITTEN APPROVAL OF FIRESTOPPING CUTSHEET. CONTRACTOR TO SUBMIT PHOTOS AND REQUEST PERMISSION PRIOR TO CONCEALING.

ABBREVIATIONS

AB	AIR BARRIER	ENG	ENGINEERED	SOG	SLAB-ON-GRADE
ASBE	AS SPECIFIED BY ENGINEER	EW	EACH WAY	SPF	SPRUCE-PINE-FIR
ASBEC	AS SPECIFIED BY ENERGY CONSULTANT	FDN	FOUNDATION	T&G	TONGUE AND GROOVE
ASBDI	AS SPECIFIED BY INTERIOR DESIGNER	GWB	GYPSUM WALL BOARD	TD	TRAVEL DISTANCE
ASBM	AS SPECIFIED BY MANUFACTURER	MAX	MAXIMUM	TBD	TO BE DETERMINED
APPROX	APPROXIMATELY	MIN	MINIMUM	UNO	UNLESS NOTED OTHERWISE
BU	BUILT UP	OAE	OR APPROVED EQUIVALENT	UG	UNDERGROUND
CIP	CAST-IN-PLACE	OC	ON-CENTRE	VB	VAPOR BARRIER
CIRC	CIRCULATION	OSB	ORIENTED STRAND BOARD	WH	WATER HEATER
CMU	CONCRETE MASONARY UNITS	RCP	REFLECTED CEILING PLAN		

ELECTRICAL LEGEND

CEILING-MOUNTED LIGHT

WALL-MOUNTED LIGHT

CEILING FAN

SWITCH-DIMMER

EMERGENCY LIGHTING

SMOKE ALARM

EXHAUST FAN

SERVICE PANEL

VERTICAL ASSEMBLIES

W1-EXISTING STONE FOUNDATION

EXTERIOR

INTERIOR

- 13" (APPROX.) STACKED STONE

W2-EXISTING FOUNDATION

EXTERIOR

INTERIOR

- C.I.P. REINFORCED CONCRETE (THICKNESS VARIES)

W3-EXISTING EXTERIOR BRICK-3 ROWS | >2HR | D-2.1.1.

EXTERIOR

INTERIOR

- 3 1/2" BRICKS
- 1/2" MORTAR
- 3 1/2" BRICKS
- 2" MORTAR
- 3 1/2" BRICKS

W4-EXISTING EXTERIOR BRICK 2 ROWS | >2HR | D-2.1.1.

EXTERIOR

INTERIOR

- 3 1/2" BRICKS
- 2" MORTAR
- 3 1/2" BRICKS

W5-EXISTING EXTERIOR 2X4

EXTERIOR

INTERIOR

- BOARD AND BATTEN
- WOOD PANELS
- AIR/MOISTURE BARRIER
- 2X4 WOOD STUDS @ 16" O.C.

NOT TAGGED-EXISTING/NEW INTERIOR 2X4

EXTERIOR

INTERIOR

- 1/2" G.W.B.
- 2X4 WOOD STUDS @ 16" O.C.
- 1/2" G.W.B.

W7-NEW INTERIOR 2X6

EXTERIOR

INTERIOR

- 1/2" G.W.B.
- 2X6 WOOD STUDS @ 16" O.C.
- 1/2" G.W.B.

W8-NEW EXTERIOR 2X6 | 1HR | EW1A

EXTERIOR

INTERIOR

- BRICK CLADDING (MATCH EXIST)
- 1/2" CAVITY
- AIR/MOISTURE MEMBRANE
- 1/2" PLYWOOD SHEATHING
- 2X4 WOOD STUDS @ 2'-0" O.C.
- R24 BATT INSULATION IN CAVITY
- 5/8" TYPE-X G.W.B.

W9-INTERIOR 2X4 FURRING

EXTERIOR

INTERIOR

- ASSEMBLY W3 OR W4
- 1/2" CAVITY
- 2X4 WOOD STUDS @ 2'-0" O.C.
- R15 BATT INSULATION IN CAVITY
- 1/2" G.W.B.

W10-INTERIOR 2X4 FURRING | 1HR | EW1A

EXTERIOR

INTERIOR

- ASSEMBLY W3 OR W4
- 1/2" CAVITY
- 2X4 WOOD STUDS @ 2'-0" O.C.
- R24 BATT INSULATION IN CAVITY
- 5/8" TYPE-X G.W.B.

*ASSEMBLY "W9" MAY BE USED AS AN ALTERNATIVE SHOULD ASSEMBLY "C2" RUNS DIRECTLY TO ASSEMBLY "W3"

W11-INTERIOR 2X6 | 1HR | 53STC | W5D

EXTERIOR

INTERIOR

- 1/2" TYPE-X OR TYPE-C G.W.B.
- 1/2" TYPE-X OR TYPE-C G.W.B.
- 2X6 WOOD STUDS @ 2'-0" O.C.
- BATT INSULATION IN CAVITY
- RESILIENT METAL CHANNELS @ 16"-2'-0" O.C.
- 1/2" TYPE-X OR TYPE-C G.W.B.
- TAPE AND FINISH OUTER LAYERS
- ACOUSTIC SEALANT AROUND PERIMETER

HORIZONTAL ASSEMBLIES

F1-EXTERIOR S.O.G.

EXTERIOR

INTERIOR

- 6" REINFORCED C.I.P. CONCRETE C.W. BROOM FINISH
- 4" GRANULAR FILL
- COMPACTED SOIL
- NATIVE SOIL

F2-INTERIOR S.O.G.

EXTERIOR

INTERIOR

- FLOOR FINISH (VARIES)
- 4" REINFORCED C.I.P. CONCRETE
- 10-MIL POLYETHYLENE VAPOR BARRIER
- RIGID INSULATION
- 4" COMPACTED GRANULAR FILL C.W. RADON PIPE
- NATIVE SOIL

F3-EXISTING INTERIOR 2X10

EXTERIOR

INTERIOR

- 2" WOOD SUBSTRATE
- 2X10 WOOD JOISTS @ 16" O.C.

F4-EXISTING EXTERIOR 2X8

EXTERIOR

INTERIOR

- EXISTING FINISH
- 3/4" WOOD SUBSTRATE
- 2X8 WOOD JOISTS @ 16" O.C.

R1-EXISTING SLOPED METAL

EXTERIOR

INTERIOR

- METAL ROOFING
- 1 1/2" STRAPPING SPACED A.P.M.
- AIR/MOISTURE MEMBRANE (UNCONFIRMED)
- PLYWOOD (UNCONFIRMED)
- 2 1/2" MIN. CAVITY
- R30 BATT INSULATION
- 2X8 RAFTERS
- 6-MIL POLY VAPOR BARRIER

R2-EXISTING SLOPED SBS

EXTERIOR

INTERIOR

- SBS OR TORCH-ON MEMBRANE
- PLYWOOD SHEATHING
- 2 1/2" MIN. CAVITY
- 2X8 TOP CHORD
- R50 BATT INSULATION IN CAVITY
- 2X8 BOTTOM CHORD
- 6-MIL POLY VAPOR BARRIER

C1-STANDARD

EXTERIOR

INTERIOR

- 1/2" G.W.B.

C2-SEPARATING SUITES | 1HR | 51 STC | F9G

EXTERIOR

INTERIOR

- ASSEMBLY F3
- ABSORPTIVE MATERIAL IN CAVITY
- RESILIENT METAL CHANNELS @ 16"-2'-0" O.C.
- 1/2" TYPE-X OR TYPE-C G.W.B.
- 1/2" TYPE-X OR TYPE-C G.W.B.
- TAPE AND FINISH BOTH LAYERS

C3-EXTERIOR SEPARATING SUITES | 1HR | 51 STC | F9G

EXTERIOR

INTERIOR

- ASSEMBLY F4
- CLOSED-CELL FOAM INSULATION IN CAVITY
- RESILIENT METAL CHANNELS @ 16"-2'-0" O.C.
- 1/2" OR 5/8" DENSEGLASS
- 1/2" OR 5/8" DENSEGLASS
- FINISH
- TAPE AND FINISH BOTH LAYERS

C4-EXTERIOR RATED | 45MIN | D-2.3.4.

EXTERIOR

INTERIOR

- ASSEMBLY F4
- 5/8" DENSEGLASS
- FINISH

C5-SOFFIT

EXTERIOR

INTERIOR

- ASSEMBLY R1
- >0.38MM PERFORATED METAL SOFFIT

C6-DROPPED CEILING

EXTERIOR

INTERIOR

- 2X6 WOOD JOISTS @ 2'-0" O.C.
- 1/2" G.W.B.

PROJECT NAME
331 FRONT STREET RENOVATION

ADDRESS
331 FRONT STREET
KASLO BC
VOG1M0

CLIENT
OWNER

DRAWING NOTES

SEAL

TRUE

PROJECT

USE

REVISIONS/HISTORY

DATE	NUMBER	DESCRIPTION
2023-12-29	0	DP/BP

SHEET NAME
INFO

SHEET NO.
A1

REV. NO.

LIFE SAFETY LEGEND

- FIRE RATED ASSEMBLY
- FIRE SEPARATION
- LONGEST PATH OF TRAVEL
- RATED DOOR (CLOSURE)
- RATED WINDOW (CLOSURE)
- SMOKE ALARM
- EMERGENCY LIGHTING
- EXIT SIGN
- OCCUPANT LOAD SIGNAGE
- UNOCCUPIED
- SERVICE (CONSTITUTING FIRE HAZARD)
- COMMON AREA
- SUITE 101 RESTAURANT
- SUITE 102 DWELLING UNIT
- SUITE 201 DWELLING UNIT
- SUITE 202 DWELLING UNIT

CODE SUMMARY

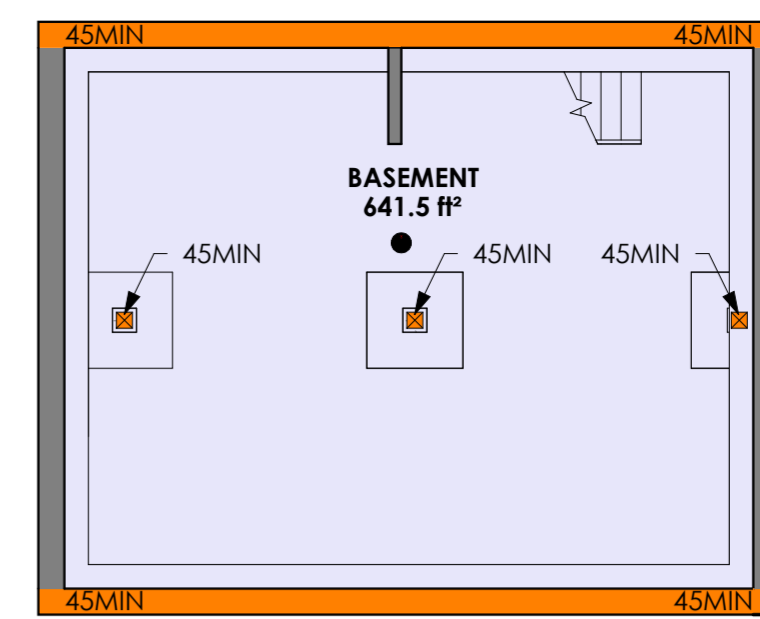
ITEM	DESCRIPTION	REFERENCE
1. TYPE	1. RENOVATION	1. A-1.1.1.1.
2. MAJOR OCCUPANCY	2. C, D	2. 9.10.2.1.3.
3. MINOR OCCUPANCY	3. NO	3. 9.10.2.5.
4. OCCUPANT LOAD	4. 24	4. 3.1.17.1.
5. AREA	5. 170.0M ²	5. A-1.4.1.2.
6. STOREYS	6. 2+BASEMENT	6. A-1.4.1.2.
7. PART	7. 9	7. A-1.3.3.3.
8. STREETS	8. 2	8. 3.2.2.10.
9. SPRINKLERED	9. NO	9. 9.10.
10. CONSTRUCTION	10. COMB+NON	10. 9.10.14.5
11. CLADDING	11. COMB+NON	11. 9.10.14.5
12. FLOORS	12. 45MIN	12. 9.10.8.1.
13. MEZZANINES	13. 0	13. 9.10.8.1.
14. ROOFS	14. 0	14. 9.10.8.1.
15. LOADBEARING	15. -SUPPORTED	15. 9.10.8.3.
16. FIRE ALARM	16. NO	16. 9.10.18.2.
17. FIRE DETECTORS	17. NO	17. 9.10.18.4.
18. SMOKE DETECTORS	18. NO	18. 9.10.18.4.
19. SMOKE ALARMS	19. NO	19. 9.10.19.1.
20. EMERGENCY LIGHTING	20. YES	20. 9.9.12.3.
21. EXIT SIGNS	21. NO	21. 9.9.11.3.
22. D EXIT TRAVEL DISTANCE	22. 40.0M	22. 9.9.8.2.
23. D EGRESS TRAVEL DISTANCE	23. 25.0M	23. 9.9.7.4.
24. D TO C SEPARATION	24. 1HR	24. 9.10.9.11.
25. D TO SERVICE SEPARATION	25. 1HR	25. 9.10.10.3.
26. C TO C SEPARATION	26. 45MIN	26. 9.10.9.14.
27. C TO SERVICE SEPARATION	27. 1HR	27. 9.10.10.3.
28. D EXIT SEPARATION	28. N.A.	28. 9.9.8.2.
29. D WASHROOMS	29. 1	29. 3.7.2.2. (2)

EXPOSING BUILDING FACES

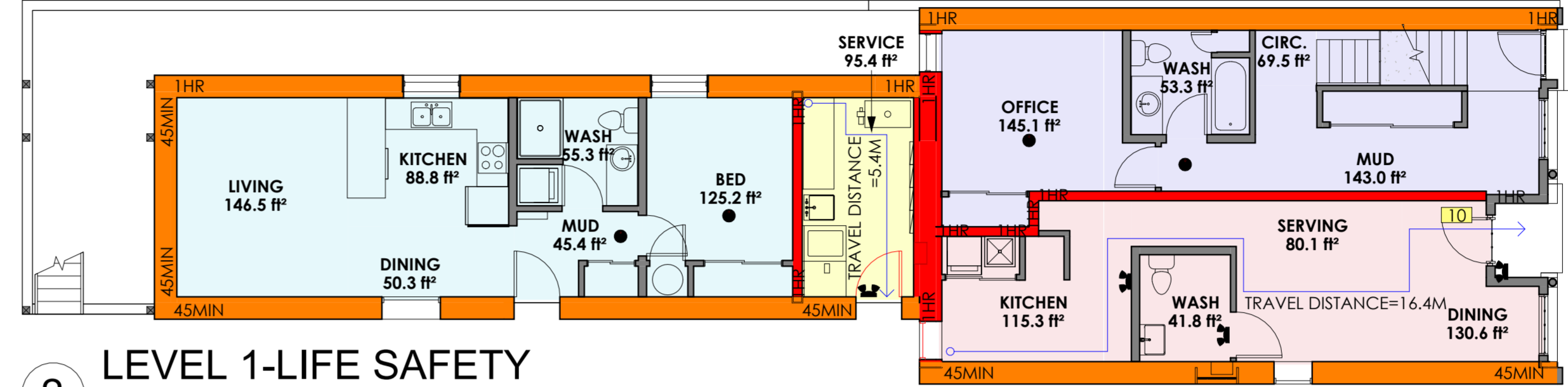
ITEM	NORTH	SOUTH	EAST	WEST
1. LIMITING DISTANCE (M)	1. 9.1	1. 6.0	1. 7.6	1. 0.1
2. AREA (M ²)	2. 61.7	2. 50.8	2. 221.8	2. 221.8
3. UNPROTECTED OPENINGS PERMITTED (%)	3. 100.0	3. 56.1	3. 26.3	3. 28.5
4. UNPROTECTED OPENINGS PERMITTED (M ²)	4. 61.7	4. 28.5	4. 58.4	4. 17.8
5. UNPROTECTED OPENINGS PROPOSED (M ²)	5. 14.5	5. 8.0	5. 17.8	5. 6.3
6. FIRE RESISTANCE RATING REQUIRED	6. 0	6. 45MIN	6. 45MIN	6. 1HR
7. CONSTRUCTION (COMBUSTIBLE AND/OR NON)	7. EITHER	7. EITHER	7. EITHER	7. NON
8. CLADDING (COMBUSTIBLE AND/OR NON)	8. EITHER	8. EITHER	8. NON	8. NON

OCCUPANCIES

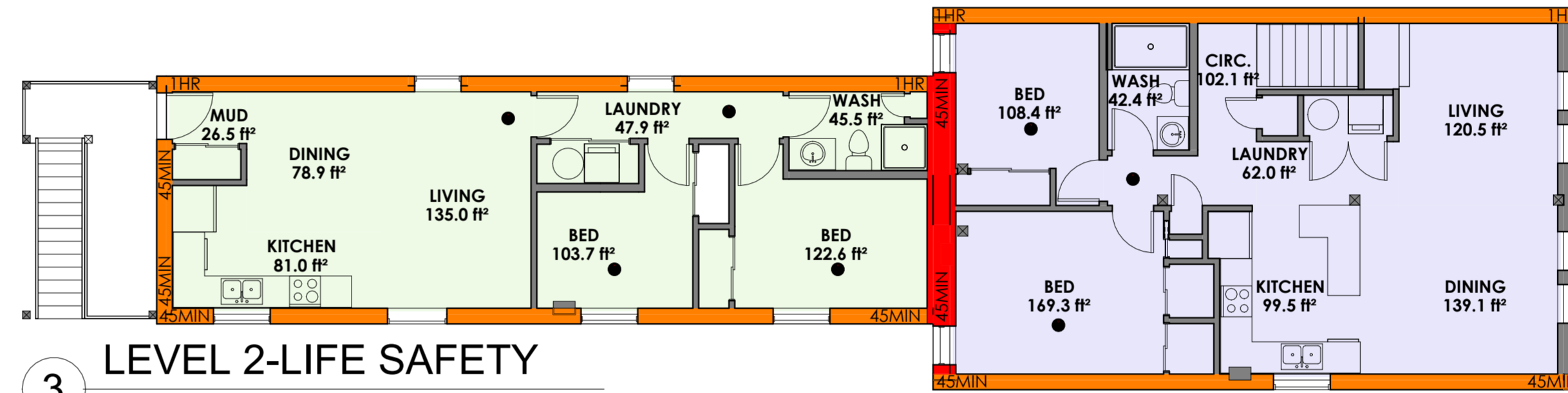
NAME	SUITE	OCCUPAN CY	CODE EQUIVALENT	AREA	LOAD FACTOR	OCCUPANT LOAD
SERVICE	SERVICE			8.86 m ²		
SERVICE: 1				8.86 m ²		0.0
KITCHEN	SUITE 101	D	KITCHENS	10.71 m ²	9.30 m ²	1.2
SERVING	SUITE 101	D	KITCHENS	7.44 m ²	9.30 m ²	0.8
WASH	SUITE 101	D	UNOCCUPIED	3.88 m ²	0.00 m ²	
DINING	SUITE 101	D	DINING, BEVERAGE, AND CAFETERIA	12.13 m ²	1.20 m ²	10.1
SUITE 101: 4				34.17 m ²		12.1
LIVING	SUITE 102	C	DWELLING UNIT	13.61 m ²	0.00 m ²	
KITCHEN	SUITE 102	C	DWELLING UNIT	8.25 m ²	0.00 m ²	
DINING	SUITE 102	C	DWELLING UNIT	4.67 m ²	0.00 m ²	
MUD	SUITE 102	C	DWELLING UNIT	4.22 m ²	0.00 m ²	
WASH	SUITE 102	C	DWELLING UNIT	5.14 m ²	0.00 m ²	
BED	SUITE 102	C	SLEEPING ROOM	11.63 m ²	5.82 m ²	2.0
SUITE 102: 6				47.52 m ²		2.0
BASEMENT	SUITE 201	C	DWELLING UNIT	59.60 m ²	0.00 m ²	
OFFICE	SUITE 201	C	DWELLING UNIT	13.48 m ²	0.00 m ²	
WASH	SUITE 201	C	DWELLING UNIT	4.95 m ²	0.00 m ²	
CIRC.	SUITE 201	C	DWELLING UNIT	6.46 m ²	0.00 m ²	
MUD	SUITE 201	C	DWELLING UNIT	13.29 m ²	0.00 m ²	
DINING	SUITE 201	C	DWELLING UNIT	12.93 m ²	0.00 m ²	
KITCHEN	SUITE 201	C	DWELLING UNIT	9.24 m ²	0.00 m ²	
BED	SUITE 201	C	SLEEPING ROOM	15.73 m ²	7.87 m ²	2.0
BED	SUITE 201	C	SLEEPING ROOM	10.07 m ²	5.04 m ²	2.0
WASH	SUITE 201	C	DWELLING UNIT	3.94 m ²	0.00 m ²	
CIRC.	SUITE 201	C	DWELLING UNIT	9.48 m ²	0.00 m ²	
LAUNDRY	SUITE 201	C	DWELLING UNIT	5.76 m ²	0.00 m ²	
LIVING	SUITE 201	C	DWELLING UNIT	11.19 m ²	0.00 m ²	
SUITE 201: 13				176.13 m ²		4.0
MUD	SUITE 202	C	DWELLING UNIT	2.46 m ²	0.00 m ²	
DINING	SUITE 202	C	DWELLING UNIT	7.33 m ²	0.00 m ²	
KITCHEN	SUITE 202	C	DWELLING UNIT	7.53 m ²	0.00 m ²	
LIVING	SUITE 202	C	DWELLING UNIT	12.54 m ²	0.00 m ²	
BED	SUITE 202	C	SLEEPING ROOM	9.63 m ²	4.85 m ²	2.0
LAUNDRY	SUITE 202	C	DWELLING UNIT	4.45 m ²	0.00 m ²	
WASH	SUITE 202	C	DWELLING UNIT	4.22 m ²	0.00 m ²	
BED	SUITE 202	C	SLEEPING ROOM	11.39 m ²	5.57 m ²	2.0
SUITE 202: 8				59.56 m ²		4.0
				326.24 m ²		22.1



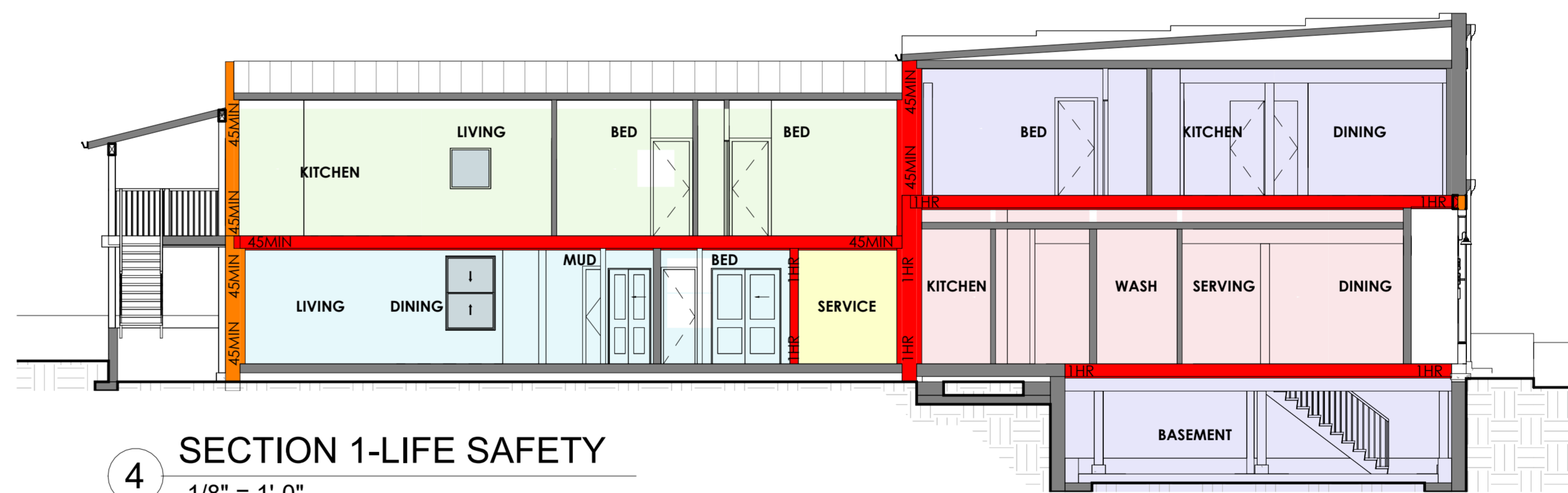
1 BASEMENT-LIFE SAFETY
1/8" = 1'-0"



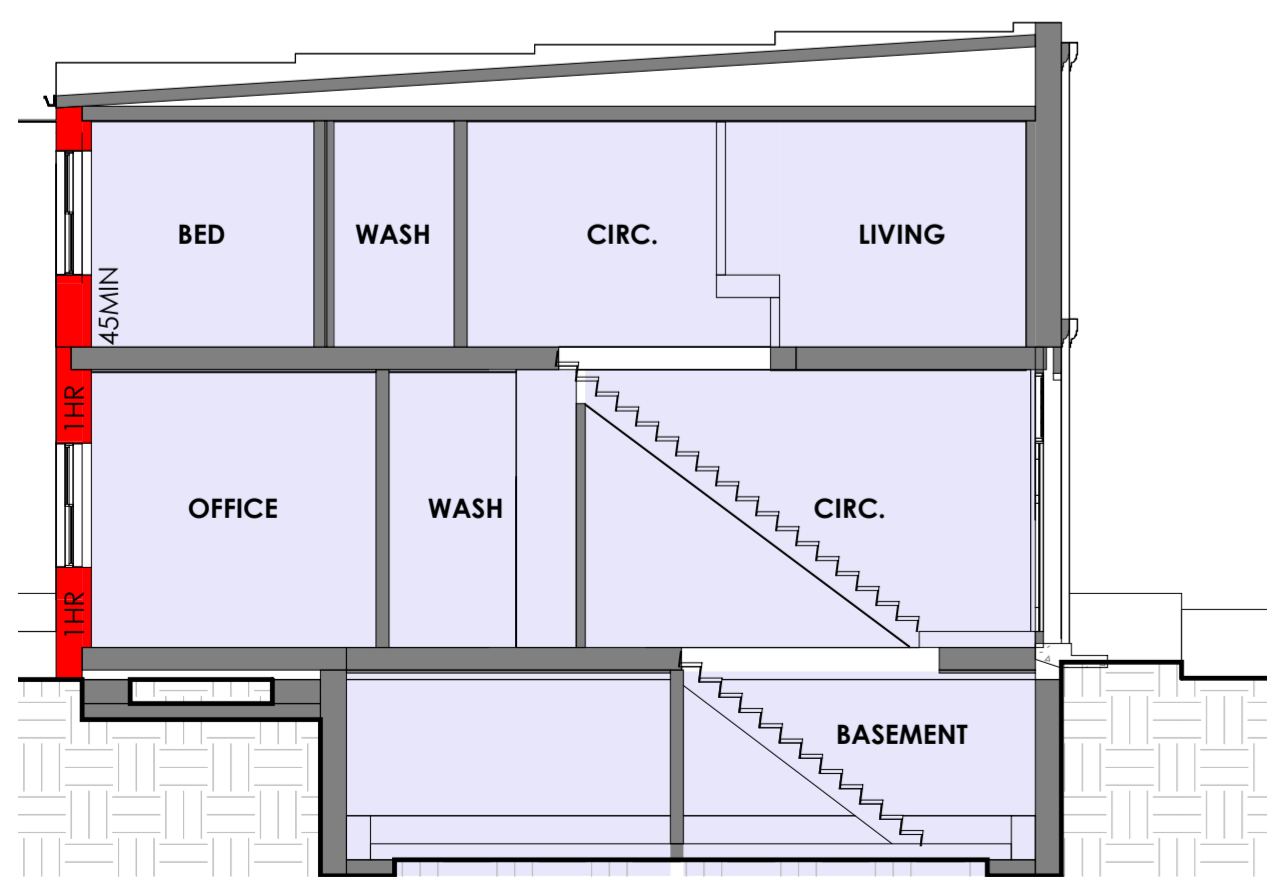
2 LEVEL 1-LIFE SAFETY
1/8" = 1'-0"



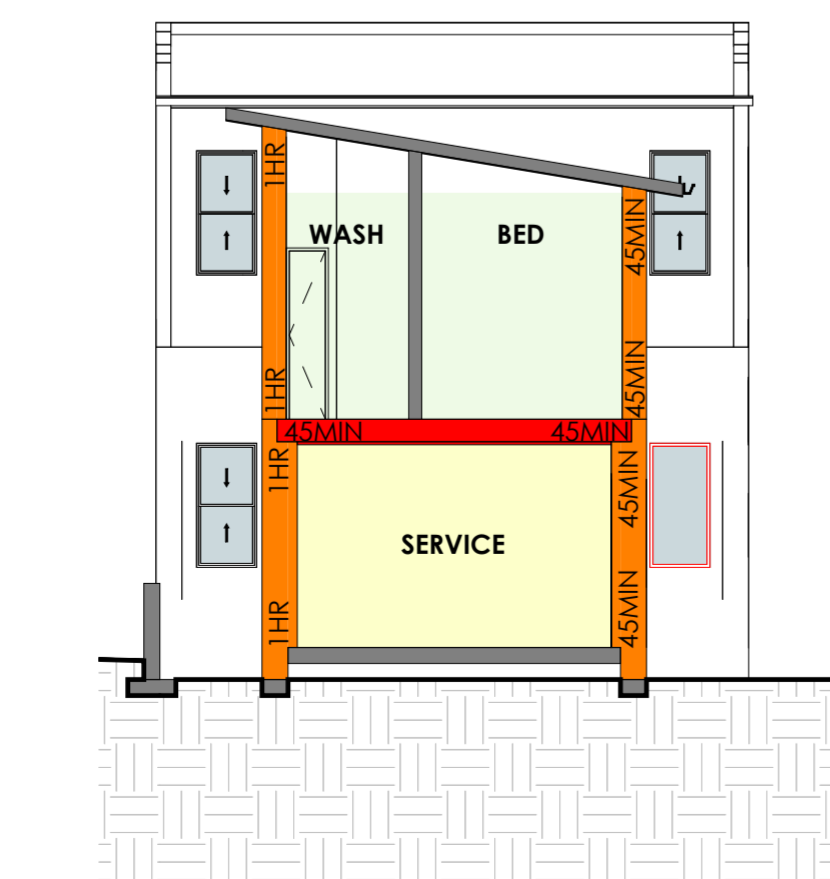
3 LEVEL 2-LIFE SAFETY
1/8" = 1'-0"



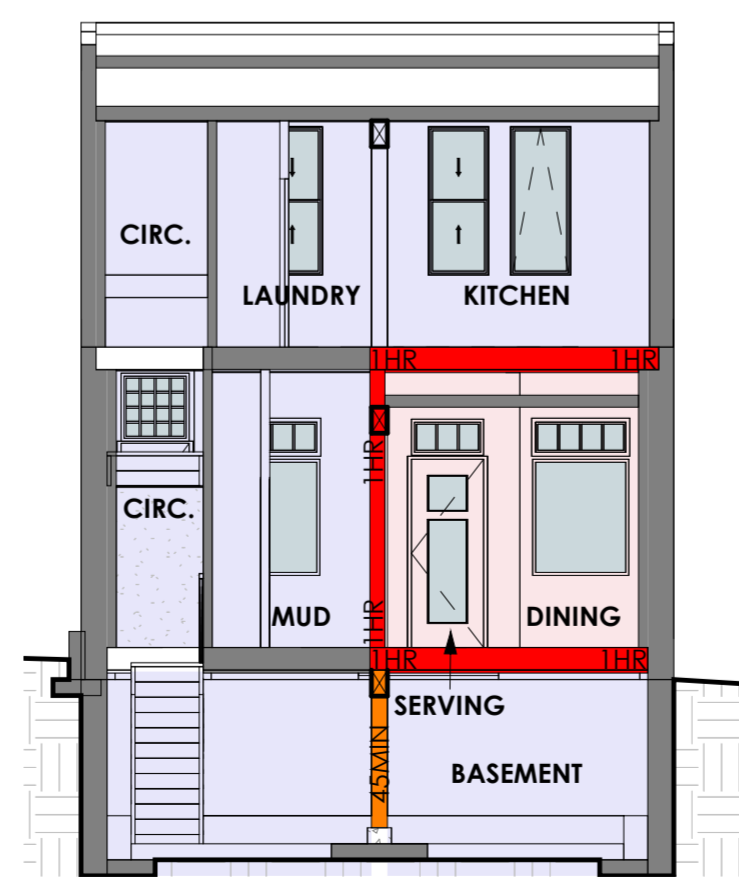
4 SECTION 1-LIFE SAFETY
1/8" = 1'-0"



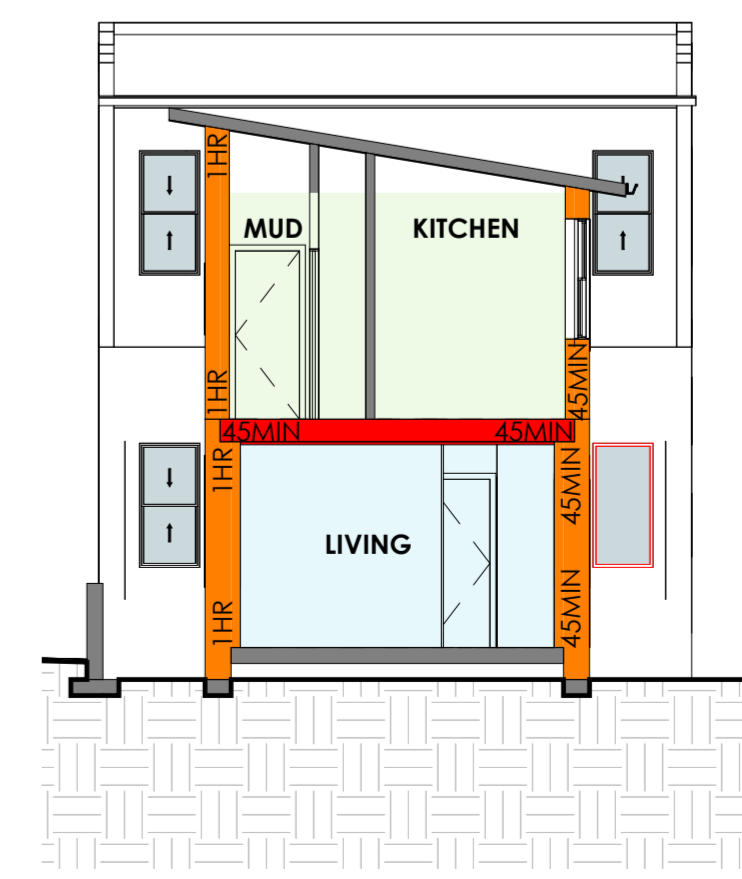
5 SECTION 2-LIFE SAFETY
1/8" = 1'-0"



6 SECTION 3-LIFE SAFETY
1/8" = 1'-0"



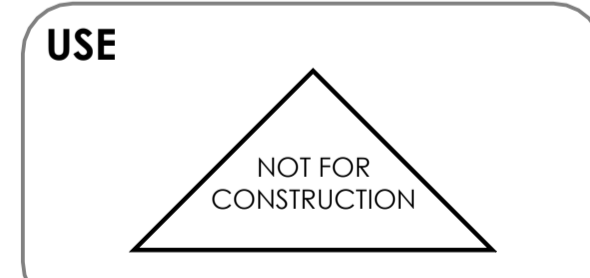
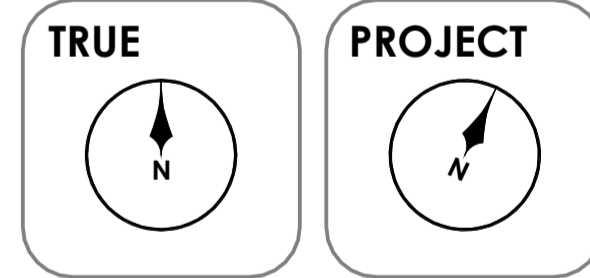
7 SECTION 4-LIFE SAFETY
1/8" = 1'-0"



8 SECTION 5-LIFE SAFETY
1/8" = 1'-0"

DRAWING NOTES

SEAL



DATE	NUMBER	DESCRIPTION
2023-12-29	0	DP/BP

SHEET NAME

LIFE SAFETY

SHEET NO. **A2** REV. NO.

KEYNOTES	
NO.	NOTE TEXT
1	WRAP RATED G.W.B. UP EDGES SO AS TO FULLY PROTECT FRAMING
2	INSTALL ENGINEERED STEEL LINTEL
3	INSTALL SINK ROUGH-IN
4	WRAP EXPOSED BASEMENT AND LEVEL 1 HEAVY TIMBER BEAMS AND COLUMNS WITH 1/2" TYPE-X G.W.B.

FINISHES															
NUMBER	NAME	SUITE	AREA	HEIGHT	FLOOR FINISH	BASE FINISH	NORTH WALL	SOUTH WALL	EAST WALL	WEST WALL	CEILING FINISH	CORNER GUARDS	FRAMES	COUNTERTOPS	MILLWORK
131	BASEMENT	SUITE 201	641.50 ft²	8.50 ft											
132	LIVING	SUITE 102	146.55 ft²	8.56 ft											
133	KITCHEN	SUITE 102	88.83 ft²	8.56 ft											
134	DINING	SUITE 102	50.28 ft²	8.56 ft											
135	MUD	SUITE 102	45.39 ft²	8.56 ft											
136	WASH	SUITE 102	55.32 ft²	8.56 ft											
137	BED	SUITE 102	125.18 ft²	8.56 ft											
138	SERVICE	SERVICE	95.38 ft²	8.56 ft											
139	KITCHEN	SUITE 101	115.32 ft²	11.56 ft											
140	SERVING	SUITE 101	80.10 ft²	11.56 ft											
141	WASH	SUITE 101	41.77 ft²	11.56 ft											
142	DINING	SUITE 101	130.61 ft²	11.56 ft											
143	OFFICE	SUITE 201	145.15 ft²	11.56 ft											
144	WASH	SUITE 201	53.32 ft²	11.56 ft											
145	CIRC.	SUITE 201	69.50 ft²	11.56 ft											
146	MUD	SUITE 201	143.05 ft²	11.56 ft											
147	DINING	SUITE 201	139.13 ft²	9.42 ft											
148	KITCHEN	SUITE 201	99.51 ft²	9.42 ft											
149	BED	SUITE 201	169.32 ft²	9.42 ft											
150	BED	SUITE 201	108.39 ft²	9.42 ft											
151	WASH	SUITE 201	42.40 ft²	9.42 ft											
152	CIRC.	SUITE 201	102.08 ft²	9.42 ft											
153	LAUNDRY	SUITE 201	61.99 ft²	9.42 ft											
154	LIVING	SUITE 201	120.47 ft²	9.42 ft											
155	MUD	SUITE 202	26.46 ft²	9.42 ft											
156	DINING	SUITE 202	78.92 ft²	9.42 ft											
157	KITCHEN	SUITE 202	81.03 ft²	9.42 ft											
158	LIVING	SUITE 202	134.99 ft²	9.42 ft											
159	BED	SUITE 202	103.69 ft²	9.42 ft											
160	LAUNDRY	SUITE 202	47.92 ft²	9.42 ft											
161	WASH	SUITE 202	45.47 ft²	9.42 ft											
162	BED	SUITE 202	122.61 ft²	9.42 ft											

DOORS-EXISTING & DEMOLISH								
TAG	PHASE	TYPE	COUNT	CLEAR WIDTH	CLEAR HEIGHT	FRR	HARDWARE	DEMOLISH
D1	EXISTING	OPENING	1	3'-8"	8'-0"			DEMO
D2	EXISTING	FLUSH-SINGLE	1	2'-8"	6'-8"			DEMO
D3	EXISTING	OPENING	1	2'-11"	7'-9"			DEMO
D4	EXISTING	FLUSH-SINGLE	4	2'-6"	7'-0"			DEMO
D5	EXISTING	FLUSH-2 LITE	2	2'-10"	7'-10"			<varies>
D6	EXISTING	OPENING	1	2'-5"	6'-6"			DEMO
D7	EXISTING	FLUSH-SINGLE	3	2'-8"	7'-0"			DEMO
D9	EXISTING	FLUSH-SINGLE	1	3'-0"	7'-0"			None
D10	EXISTING	FLUSH-SINGLE	1	3'-2"	7'-5"			DEMO

COLUMNS-EXISTING & DEMOLISH					
TAG	TYPE	COUNT	W X D (")	PHASE	DEMO
C1	CONCRETE-RECTANGULAR	3	12X12	EXISTING	None
C2	ENG TIMBER	12	8X8	EXISTING	None
C3	6X6 DORIC	2	6X6 DORIC	EXISTING	None
C4	BRICK PILASTER	4	17X10	EXISTING	None
C5	CONCRETE-RECTANGULAR	2	10X10	EXISTING	None
C6	ENG TIMBER	12	6X6	EXISTING	None

BEAMS-EXISTING & DEMOLISH					
TAG	TYPE	COUNT	W X D (")	PHASE	DEMOLISH
B1	BUILT UP BEAM	5	8x12	EXISTING	<varies>
B2	BUILT UP BEAM	5	6x10	EXISTING	None
B3	BUILT UP BEAM	1	(6) 2X12	EXISTING	None

DOORS-NEW							
TAG	PHASE	TYPE	COUNT	CLEAR WIDTH	CLEAR HEIGHT	FRR	HARDWARE
D7	NEW	FLUSH-SINGLE	11	2'-8"	7'-0"		
D9	NEW	FLUSH-SINGLE	2	3'-0"	7'-0"		
D11	NEW	FLUSH-DOUBLE	1	5'-0"	7'-0"		
D12	NEW	SLIDING	1	8'-0"	7'-0"		
D13	NEW	SLIDING	4	5'-0"	7'-0"		
D14	NEW	SLIDING	3	4'-0"	7'-0"		
D16	NEW	POCKET	1	1'-2"	7'-0"		
D17	NEW	FLUSH-SINGLE	1	1'-4"	7'-0"		
D18	NEW	SLIDING	3	3'-0"	7'-0"		
D19	NEW	FLUSH-SINGLE	1	1'-6"	7'-0"		
D20	NEW	SLIDING	1	4'-6"	7'-0"		
D21	NEW	FLUSH-SINGLE	1	2'-4"	7'-0"		
D22	NEW	FLUSH-2 LITE	1	3'-0"	7'-10"		
D23	NEW	FLUSH-SINGLE	2	2'-0"	7'-0"		
D26	NEW	FLUSH-SINGLE	1	3'-0"	7'-0"	45MIN	LATCH, CLOSER, SWEEP, PSF FRAME

COLUMNS-NEW					
TAG	TYPE	COUNT	W X D (")	PHASE	DEMO

BEAMS-NEW					
TAG	TYPE	COUNT	W X D (")	PHASE	DEMOLISH

WINDOWS-EXISTING & DEMOLISH								
TAG	PHASE	TYPE	COUNT	CLEAR WIDTH	CLEAR HEIGHT	SILL HEIGHT	HARDWARE	DEMOLISH
G1	EXISTING	FIXED	4	3'-10"	5'-6"	2'-6"		DEMO
G2	EXISTING	FIXED	2	3'-0"	6'-7"	2'-0"		DEMO
G3	EXISTING	FIXED	1	2'-6"	2'-8"	3'-9"		DEMO
G4	EXISTING	FIXED	2	3'-10"	5'-0"	2'-6"		DEMO
G5	EXISTING	FIXED	4	2'-6"	6'-2"	3'-0"		DEMO
G6	EXISTING	FIXED	4	3'-8"	5'-4"	3'-0"		DEMO
G7	EXISTING	FIXED	1	3'-7"	6'-3"	2'-7"		DEMO
G8	EXISTING	FIXED	1	2'-2"	6'-3"	2'-8"		DEMO
G9	EXISTING	FIXED-MULTI-PANEL	1	2'-10"	2'-10"	8'-5"		DEMO
G10	EXISTING	FIXED	1	3'-0"	6'-3"	2'-8"		DEMO
G11	EXISTING	FIXED	2	3'-10"	3'-0"	3'-6"		DEMO

FIXTURES			
TAG	TYPE	WXDXH (")	COUNT
P1	SINK-KITCHEN-SINGLE	20X20	1
P2	TUB	60X30X18	1
P3	UTILITY SINK	20X24X36	1
P4	SINK-VANITY-ROUND	19Ø	4
P5	WATER HEATER	24Ø	4
P6	SINK-KITCHEN-DOUBLE	32X20	4
P7	SHOWER	48X36	1
P8	TOILET	20X32X16	5
P9	SINK-MOP	24X24X6	1
P10	LAVATORY	24X20	1
P11	SHOWER	36X36	1
P12	SHOWER	60X36	1
			25

APPLIANCES/EQUIPM...			
TAG	TYPE	WXDXH (")	COUNT
A1	WASHER DRYER STACK	27X30X80	4
A2	REFRIGERATOR-DOUBLE	36X34X68	2
A3	RANGE STOVE	24X24X36	3
A4	REFRIGERATOR-DOUBLE	30X34X68	1
A5	DRYER	28x35x35	1
A6	WASHER	28x35x35	1
A7	BOILER	21X32X36	1
A8	ELECTRICAL PANEL	SEE ELEC.	4
A9	DISHWASHER	24X24X33.5	3
A10	Wirybird	ROOF VENT-VMAX-102-1 2	4
A11	Wirybird	ROOF VENT-VMAX-201-1 2	2

FURNITURE			
TAG	TYPE	WXDXH (")	COUNT
F1	BAR STOOL	12ØX20	5
F2	TABLE-NIGHTSTAND	24X18X30	16
F3	TABLE-COFFEE	48X24X24	3
F4	SOFA-TRIPLE-SMALL	76X32	6
F5	TELEVISION	60X4X30 2	2
F6	CHAIR-DINING	16X16X18	15
F7	COAT HOOK	2X4	2
F8	BED	QUEEN-60X80	3
F9	PULL-OUT	QUEEN-80X86	1
F10	TABLE-DINING	72X36	2
F11	BED	DOUBLE-54X80	1
F12	BED	KING-76X80	1
F14	TABLE-DINING	60X30X30 2	1
F15	CHAIR-OFFICE	18X18X18	1
F16	TABLE-DINING	60X24X30	1
F17	FIREPLACE-ELECTRIC	80X18X48	1

FOOTINGS-EXIST/DE...				
TAG	TYPE	LXWXD (")	PHASE	DEMOLISH
F1	RECTANGULAR	48X48X8	EXISTING	None
F3	RECTANGULAR	42X48X8	EXISTING	None
F4	Wall Foundation	24X8 2	EXISTING	None

WINDOWS-NEW							
TAG	PHASE	TYPE	COUNT	CLEAR WIDTH	CLEAR HEIGHT	SILL HEIGHT	HARDWARE
G1	NEW	FIXED	2	3'-10"	5'-6"	<varies>	
G3	NEW	FIXED	1	2'-6"	2'-8"	3'-9"	
G9	NEW	FIXED-MULTI-PANEL	2	2'-10"	2'-10"	<varies>	
G12	NEW	HUNG-DOUBLE	2	2'-6"	6'-2"	3'-0"	
G13	NEW	HUNG-DOUBLE	4	3'-8"	5'-6"	<varies>	
G14	NEW	HUNG-DOUBLE	3	2'-6"	5'-2"	<varies>	
G15	NEW	HUNG-DOUBLE	1	3'-8"	5'-0"	3'-4"	
G16	NEW	FIXED	2	4'-0"	4'-10"	3'-0"	
G17	NEW	FIXED	1	3'-8"	5'-0"	3'-4"	
G18	NEW	FIXED	2	3'-0"	3'-0"	3'-6"	
G19	NEW	FIXED	1	2'-6"	5'-2"	3'-4"	WIRED GLASS OR GLASS BLOCK
G20	NEW	AWNING-SINGLE	2	2'-6"	6'-2"	3'-0"	
G40	NEW	FIXED-MULTI-PANEL	2	4'-0"	1'-6"	8'-0"	
G46	NEW	FIXED-MULTI-PANEL	1	3'-0"	1'-6"	8'-0"	

FOOTINGS-NEW				
TAG	TYPE	LXWXD (")	PHASE	DEMOLISH
F2	Wall Foundation	24X8	NEW	None

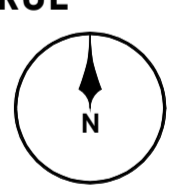
PROJECT NAME
331 FRONT STREET RENOVATION

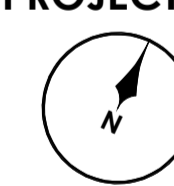
ADDRESS
331 FRONT STREET
KASLO BC
VOG1M0

CLIENT
OWNER

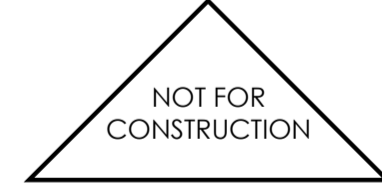
DRAWING NOTES

SEAL

TRUE 

PROJECT 

USE



NOT FOR CONSTRUCTION

REVISIONS/HISTORY

DATE	NUMBER	DESCRIPTION
2023-12-29	0	DP/BP

SHEET NAME
SCHEDULES

SHEET NO.
A3

REV. NO.

ZONING BYLAW SUMMARY

ITEM	DESCRIPTION
CIVIC ADDRESS	331 FRONT ST KASLO
LEGAL ADDRESS	PARCEL G, PLAN NEP393, DISTRICT LOT 208, KOOTENAY LAND DISTRICT, BEING A CONSOLIDATION OF LOTS 16 & 17, SEE LB533771, PID: 029-477-000
AJH	RDCK
ZONING DESIGNATION	C2-CENTRAL BUSINESS DISTRICT ZONE
BYLAW REFERENCED	VILLAGE OF KASLO LAND USE BYLAW 1130 (2022-11-15)
OCP DESIGNATION	CORE COMMERCIAL
OCP REFERENCED	VILLAGE OF KASLO OFFICIAL COMMUNITY PLAN (2022-09-27)
DPA DESIGNATION	HERITAGE & COMMERCIAL CORE



C2-CENTRAL BUSINESS DISTRICT ZONE ZONING BYLAWS

ITEM	PERMITTED	PROPOSED
1. PRINCIPAL USE	1. A. RETAIL B. OFFICE C. SERVICE D. RECREATION/ENTERTAINMENT E. RESTAURANT F. NEIGHBOURHOOD PUB G. SCHOOL H. LIGHT INDUSTRIAL/PARKING I. CHURCH, HOSPITAL, PERSONAL CARE, DAY CARE J. PUBLIC BUILDINGS K. ACCESSORY USES L. RM-1 ZONE USES*	1. RM-1 ZONE USES* RESTAURANT
2. SITE AREA (M ²)	2. >765	2. 511.0 (EXISTING)
3. STREET FRONTAGE (M)	3. > 1/10 LOT PERIMETER= 97.6/10=9.76	3. 15.2 (EXISTING)
4. HEIGHT (M)	4. <12.0	4. 8.7 (EXISTING)
5. FRONT SETBACK (M)	5. 0.0	5. 0.0 (EXISTING)
6. REAR SETBACK (M)	6. 4.5	6. 3.0 (EXISTING)
7. INTERIOR SETBACK (M)	7. 0.0	7. 0.0 (EXISTING)
8. EXTERIOR SETBACK (M)	8. 0.0	8. N.A.
9. PROJECTIONS (M)	9. 0.6	9. N.A.
10. PARKING COUNT	10. RETAIL=1/46M ² OFFICE=1/46M ² ENTERTAINMENT=1/5 SEATS RESTAURANT=1/5 SEATS	10. EXISTING
11. PARKING SIZE (W X L)	11. A. 0°=2.4 X 6.7 B. 30°=2.4X4.9 C. 45°=2.4X5.6 D. 60°=2.4X5.6 E. 90°=2.4 X 5.5	11. EXISTING
12. AISLE WIDTH	12. A. 0°=3.7 B. 30°=3.7 C. 45°=3.7 D. 90°=6.75	12. EXISTING

*USES PERMITTED IN THE C-1 ZONE, WATERFRONT COMMERCIAL AND RM-1 ZONE, MULTIPLE RESIDENTIAL, SUBJECT TO THE RESPECTIVE REGULATIONS APPLICABLE IN THOSE ZONES

RM-1 - MULTIPLE RESIDENTIAL ZONING BYLAWS

ITEM	PERMITTED	PROPOSED
1. PRINCIPAL USE	1. A. MULTIPLE DWELLING B. SINGLE FAMILY, TWO FAMILY (R-1) C. SCHOOL, CHURCH, HOSPITAL, PERSONAL CARE, DAY CARE D. PUBLIC BUILDINGS E. ACCESSORY USES F. HOME OCCUPATION G. BED & BREAKFAST	1. MULTIPLE DWELLING
2. SITE AREA (M ²)	2. >1000.0	2. 511.0 (EXISTING)
3. STREET FRONTAGE (M)	3. >22.0	3. 15.2 (EXISTING)
4. DENSITY (UNITS)	4. <60/10,000M ² =3.066	4. 3 (EXISTING)
5. HEIGHT (M)	5. <12.0	5. 8.7 (EXISTING)
6. FRONT SETBACK (M)	6. 7.5	6. 0.0 (EXISTING)
7. REAR SETBACK (M)	7. 7.5	7. 3.0 (EXISTING)
8. INTERIOR SETBACK (M)	8. 1.5	8. 0.0 (EXISTING)
9. EXTERIOR SETBACK (M)	9. 7.5	9. N.A.
10. PROJECTIONS (M)	10. 0.6	10. N.A.
11. SITE COVERAGE (%)	11. 40	11. 35.7 (EXISTING)
12. OPEN SITE SPACE (%)	12. 30 LOT AREA, 33 REAR YARD	12. EXISTING
13. PARKING COUNT	13. 1.5/DWELLING UNIT	13. EXISTING
14. PARKING SIZE (W X L)	14. A. 0°=2.4 X 6.7 B. 30°=2.4X4.9 C. 45°=2.4X5.6 D. 60°=2.4X5.6 E. 90°=2.4 X 5.5	14. EXISTING
15. AISLE WIDTH	15. A. 0°=3.7 B. 30°=3.7 C. 45°=3.7 D. 90°=6.75	15. EXISTING
16. AMENITY AREAS (M ²)	16. A. 10 B. 15 C. 20 D. 30 E. 40	16. EXISTING

4.24 EXEMPTION OF EXISTING BUILDINGS FROM PARKING AND LOADING REQUIREMENTS

THE REGULATIONS CONTAINED IN THIS SECTION SHALL NOT APPLY TO BUILDINGS, STRUCTURES AND USES EXISTING ON THE EFFECTIVE DATE OF THIS BYLAW EXCEPT THAT:

A. OFF-STREET PARKING AND LOADING SHALL BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH THIS SECTION FOR ANY ADDITION TO ANY EXISTING BUILDING AND STRUCTURE OR ANY CHANGE OR ADDITION TO SUCH EXISTING USE INCLUDING HOME OCCUPATIONS.

B. OFF-STREET PARKING AND LOADING PROVIDED PRIOR TO THE ADOPTION OF THIS BYLAW SHALL NOT BE REDUCED BELOW THE APPLICABLE OFF-STREET PARKING REQUIREMENTS OF THIS SECTION.

DEVELOPMENT PERMIT AREA SUMMARY

16.3 HERITAGE AND COMMERCIAL CORE DPA

16.3.1 CONTEXT AND PURPOSE

THE HERITAGE AND COMMERCIAL CORE DPA IS ESTABLISHED FOR THE PURPOSE OF REVITALIZING THE COMMERCIAL CORE AND PRESERVING THE GENERAL FORM AND CHARACTER OF COMMERCIAL AND MULTI-FAMILY DEVELOPMENT IN THE DESIGNATED AREAS, PURSUANT TO SECTIONS 488(1)(D) AND 488(1)(F) OF THE LOCAL GOVERNMENT ACT.

THE LANDS WITHIN THE HERITAGE AND COMMERCIAL CORE DPA ARE DEFINED IN MAP C. THIS DPA ALSO INCLUDES PROPERTIES THAT ARE DESIGNATED IN MUNICIPAL, PROVINCIAL, OR NATIONAL HERITAGE REGISTRIES, INCLUDING TWO NATIONAL HISTORIC SITES. THIS AREA IS THE HISTORICAL COMMERCIAL CENTRE OF KASLO AND THE PRIMARY FOCUS OF PEDESTRIAN-SCALE RETAIL, COMMERCIAL AND INSTITUTIONAL SERVICES. THE HERITAGE AND COMMERCIAL CORE DP IS INTENDED PRESERVE KASLOS HISTORICAL, ARTISTIC, AND ARCHITECTURAL FEATURES, AND ENCOURAGE NEW DEVELOPMENT TO FOLLOW DESIGN GUIDELINES THAT ARE RESPECTIVE AND COMPLIMENTARY TO THOSE HISTORICAL ATTRIBUTES.

16.3.2 REGULATED DEVELOPMENT

WITHIN THE HERITAGE AND COMMERCIAL CORE DPA, LAND SHALL NOT BE SUBDIVIDED AND CONSTRUCTION OF, ADDITION TO, OR ALTERATION OF A BUILDING OR STRUCTURE SHALL NOT BE COMMENCED UNLESS THE OWNER FIRST OBTAINS A DEVELOPMENT PERMIT.

16.3.3 GUIDELINES

1. THE DESIGN GUIDELINES FOR THE HERITAGE AND COMMERCIAL CORE DPA ARE SPECIFIED IN APPENDIX II: HERITAGE DESIGN GUIDELINES, AND APPENDIX III: COLOUR DESIGN GUIDELINES. THESE DOCUMENTS WERE ORIGINALLY PRODUCED BY HERITAGE DESIGNER ROBERT INWOOD IN 1991 THROUGH CAREFUL RESEARCH INTO KASLO'S COLONIAL PERIOD ARCHITECTURE AND HISTORIC STREETScape OF THE 1890S THROUGH 1930S, WHICH RESULTED IN A SUCCESSFUL HERITAGE AREA REVITALIZATION PROGRAM THAT RESTORED AND REVITALIZED SEVERAL DOWNTOWN BUILDINGS IN THE 1990S.

2. DEVELOPMENTS IN THIS AREA SHOULD ALSO ENHANCE THE PEDESTRIAN EXPERIENCE BY ENGAGING THE STREET BOTH VISUALLY AND PHYSICALLY AND HIGHLIGHT THE VIEWS AND CONNECTIONS TO THE SURROUNDING LANDSCAPE.

3. DEVELOPMENT OF COMMERCIAL AND MULTI-FAMILY RESIDENTIAL PROPERTIES WITHIN THE HERITAGE AND COMMERCIAL CORE DPA ARE SUBJECT TO GENERAL FORM AND CHARACTER GUIDELINES BUT NOT NECESSARILY TO PARTICULARS OF THE LANDSCAPING OR OF THE EXTERIOR DESIGN AND FINISH OF BUILDINGS AND OTHER STRUCTURES.

4. A DEVELOPMENT PERMIT ISSUED IN THE HERITAGE AND COMMERCIAL CORE DEVELOPMENT PERMIT AREA MAY INCLUDE CONDITIONAL REQUIREMENTS RESPECTING THE CHARACTER OF THE DEVELOPMENT INCLUDING THE SITING, MASSING, GENERAL LANDSCAPING, FORM, EXTERIOR DESIGN AND COLOUR CHOICES OF BUILDINGS AND STRUCTURES, AND THE DESIGN AND INSTALLATION OF SIGNAGE.

16.3.4 EXEMPTIONS

1. DEVELOPMENT PERMITS ARE NOT REQUIRED WITHIN THE HERITAGE AND COMMERCIAL CORE DPA FOR:

A. INTERNAL ALTERATIONS THAT DO NOT AFFECT THE OUTER APPEARANCE OF A BUILDING, OR

B. FOR ROUTINE EXTERIOR MAINTENANCE, INCLUDING PAINTING PROVIDED THAT THE PAINT COLOUR IS COMPATIBLE WITH THE COLOUR DESIGN GUIDELINES.

2. SINGLE-FAMILY DWELLING AND DUPLEX RESIDENTIAL DEVELOPMENT ARE NOT SUBJECT TO THE HERITAGE AND COMMERCIAL CORE DPA.

3. STREET PATIOS AND CHATELLES PLACED IN PUBLIC SPACE SHALL BE SUBJECT TO REGULATION BY BYLAW OR POLICY.

16.3.5 APPLICATION AND REVIEW PROCEDURE

- AN APPLICATION FOR A HERITAGE AND COMMERCIAL CORE DP SHOULD INCLUDE A STATEMENT OR REPORT DESCRIBING THE DESIGN RATIONALE AND HOW THE BUILDING DESIGN GUIDELINES AND COLOUR DESIGN GUIDELINES HAVE BEEN CONSIDERED IN THE PROPOSED DEVELOPMENT.
- AFTER RECEIPT OF A COMPLETE APPLICATION, VILLAGE STAFF SHALL REVIEW THE APPLICATION AND, WITHIN 10 BUSINESS DAYS, MAY:
 - APPROVE THE APPLICATION IF IT CLEARLY MEETS THE HERITAGE AND COMMERCIAL CORE DPA REQUIREMENTS;
 - APPROVE THE APPLICATION WITH CONDITIONS RELATING TO GENERAL FORM AND CHARACTER;
 - REQUEST ADDITIONAL DESIGN DETAILS OR PROFESSIONALLY RENDERED DRAWINGS FROM THE APPLICANT;
 - REFER THE APPLICATION TO COUNCIL, OR;
 - E. MAY DENY THE PERMIT IF THE DEVELOPMENT IS NOT COMPATIBLE WITH THE HERITAGE AND COMMERCIAL CORE DPA REQUIREMENTS.
- A DENIAL, OR CONDITIONS OF APPROVAL, MAY BE APPEALED TO COUNCIL BY THE APPLICANT.
- AN APPLICATION THAT PROPOSES SIGNAGE, AWNINGS, OVERHANGS, LIGHTING, OR DECORATIVE FACADE FEATURES, SUCH AS CORNICES, THAT PROJECT INTO OR OVER THE PUBLIC STREET MUST BE APPROVED BY COUNCIL.
- IF AN APPLICATION IS REFERRED OR APPEALED TO COUNCIL, THE VILLAGE SHALL NOTIFY PROPERTY OWNERS WITHIN 60 METRES OF THE PROPERTY OF COUNCIL'S INTENTION TO CONSIDER THE APPLICATION AT LEAST SEVEN DAYS BEFORE THE COUNCIL MEETING.
- WHEN FIRST CONSIDERING THE APPLICATION, COUNCIL MAY ASSIGN A HERITAGE DESIGN REVIEW COMMITTEE TO REVIEW THE APPLICATION AND MAKE A RECOMMENDATION BEFORE DECIDING.
- THE HERITAGE DESIGN REVIEW COMMITTEE MUST PROVIDE ITS RECOMMENDATION TO COUNCIL WITHIN 21 DAYS OF COUNCIL'S FIRST CONSIDERATION OF THE APPLICATION.

OFFICIAL COMMUNITY PLAN SUMMARY

6.2 CORE COMMERCIAL

6.2.1 PURPOSE

KASLO'S HISTORIC COMMERCIAL CORE AREA IS RECOGNIZED FOR ITS EARLY-COLONIAL CHARACTER THAT MAKES THE AREA VERY WALKABLE, COMPACT, AND VIBRANT. THE AREA IS HOME TO DOZENS OF BUSINESSES AND RESIDENCES, ALONGSIDE COMMUNITY SERVICES AND AMENITIES THESE OBJECTIVES AND POLICIES AIM TO SUSTAIN THE AREA'S UNIQUE CHARACTERISTICS AND ITS ROLE AS THE MAIN SERVICE AND EMPLOYMENT CENTRE FOR THE VILLAGE AND SURROUNDING AREA.

6.2.2 OBJECTIVES

- TO ENCOURAGE A COMPACT, VISUALLY APPEALING COMMERCIAL CORE THAT OPERATES YEAR-ROUND TO PROVIDE A WIDE RANGE OF GOODS AND SERVICES.
- TO ENCOURAGE THE HIGHEST AND BEST USE OF THE LAND THROUGH MIXED-USE DEVELOPMENTS THAT INCLUDE COMPATIBLE GROUND-FLOOR, STREET-FRONT COMMERCIAL USES WITH OFFICES OR RESIDENCES ABOVE OR TO THE REAR.
- TO DISCOURAGE NEW RESIDENTIAL-ONLY DEVELOPMENT ON FRONT STREET BETWEEN 3RD AND 5TH STREETS.

6.2.3 POLICIES

IN ADDITION TO THE GENERAL COMMERCIAL POLICIES, THE VILLAGE WILL:

- MAINTAIN THE HERITAGE AND COMMERCIAL CORE DEVELOPMENT PERMIT AREA.
- DEVELOP A DOWNTOWN MASTER PLAN AIMED AT MAINTAINING THE VIBRANCY AND CHARACTER OF THE COMMERCIAL CORE INCLUDING CONSIDERATION OF IMPROVEMENTS TO WALKING, CYCLING, PARKING, ACCESSIBILITY, STREETSCAPES, AND CULTURAL AMENITIES.
- CONTROL MIXED-USE DEVELOPMENT THROUGH ZONING REGULATIONS.

DEFINITIONS

AMENITY AREA
MEANS THAT PART OF A BUILDING OR LOT INTENDED FOR THE USE OF THE OCCUPANTS EXCLUSIVE OF ENTRANCES, HALLWAYS, DRIVEWAYS AND PARKING AREAS.

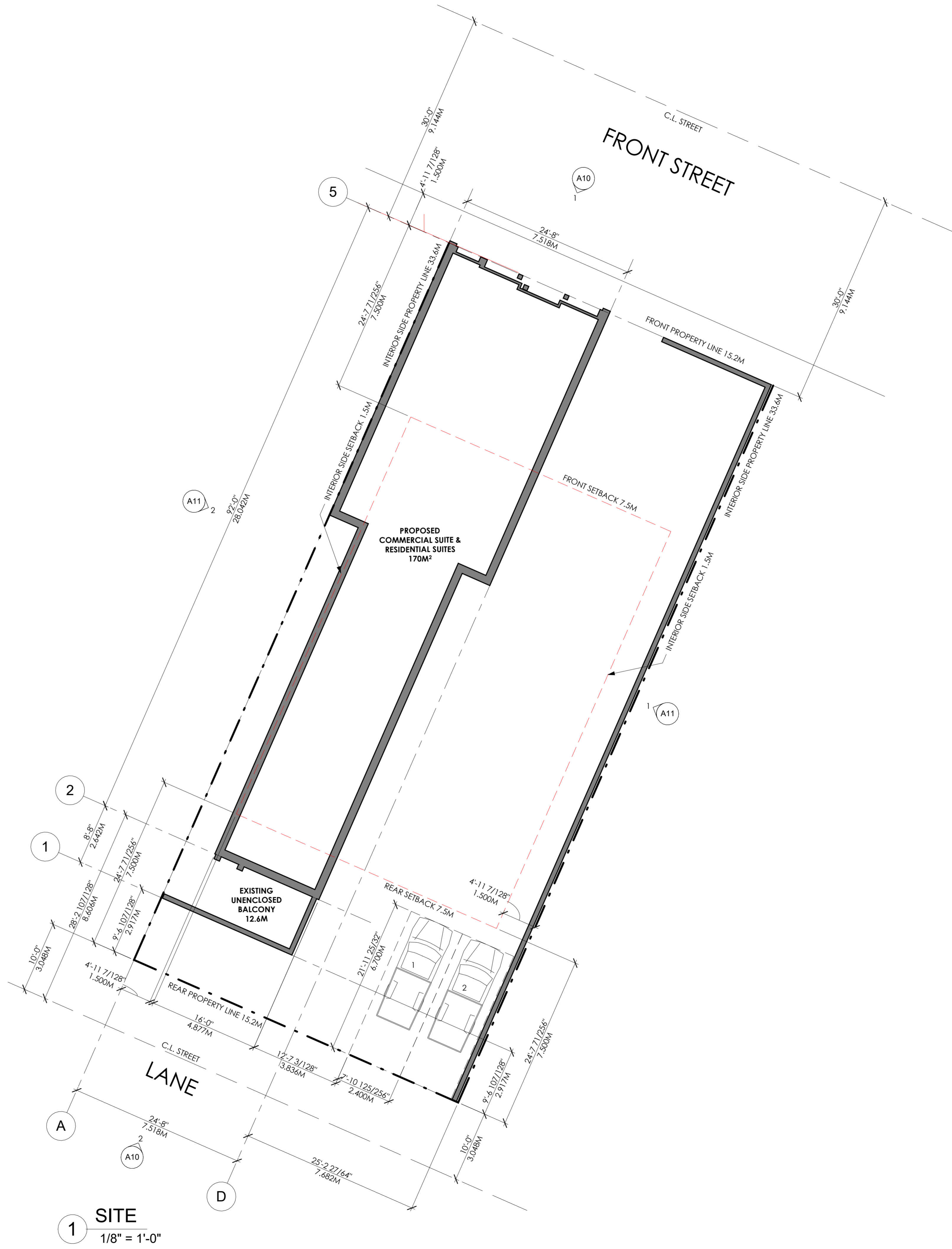
MULTIPLE DWELLING
MEANS A BUILDING CONTAINING THREE OR MORE SELF-CONTAINED DWELLING UNITS.

TWO FAMILY DWELLING
MEANS A BUILDING ENTIRELY COMPRISED OF TWO SELF-CONTAINED DWELLING UNITS.

SECONDARY SUITE
MEANS A SEPARATE DWELLING UNIT WHICH IS COMPLETELY CONTAINED WITHIN A PRINCIPAL BUILDING AND IS SUBORDINATE TO A PRINCIPAL DWELLING UNIT ON THE SAME PARCEL.

SITE COVERAGE
MEANS THAT PERCENTAGE OF THE AREA OF THE WHOLE OF A LOT WHICH IS COVERED BY OR BENEATH ONE OR MORE BUILDINGS.

OPEN SITE SPACE
MEANS THAT PORTION OF A LOT WHICH IS LANDSCAPED AND PERMEABLE, NOT OCCUPIED OR OBSTRUCTED BY ANY BUILDING, PORTION OF BUILDING, DRIVEWAY OR PARKING LOT OR COVERED BY ANY IMPERMEABLE SURFACES.



PROJECT NAME
331 FRONT STREET RENOVATION

ADDRESS
331 FRONT STREET
KASLO BC
VOG1M0

CLIENT
OWNER

DRAWING NOTES

SEAL

TRUE **PROJECT**

USE
NOT FOR CONSTRUCTION

REVISIONS/HISTORY		
DATE	NUMBER	DESCRIPTION
2023-12-29	0	DP/BP

SHEET NAME
SITE

SHEET NO.
A4

REV. NO.

PROJECT NAME
331 FRONT STREET RENOVATION

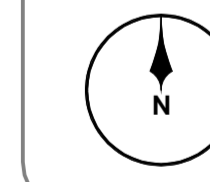
ADDRESS
331 FRONT STREET
KASLO BC
VOG1M0

CLIENT
OWNER

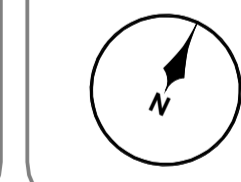
DRAWING NOTES

SEAL

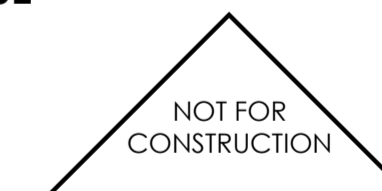
TRUE



PROJECT



USE



REVISIONS/HISTORY

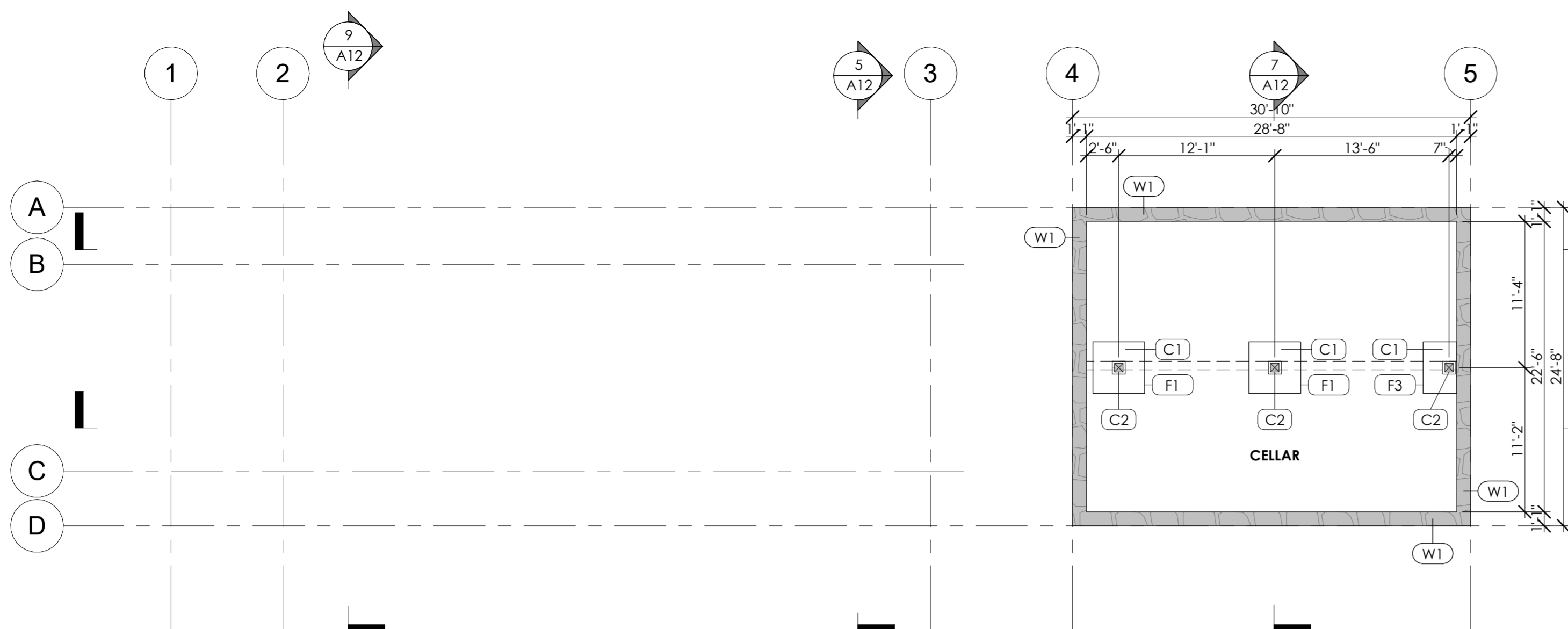
DATE	NUMBER	DESCRIPTION
2023-12-29	0	DP/BP

SHEET NAME
BASEMENT

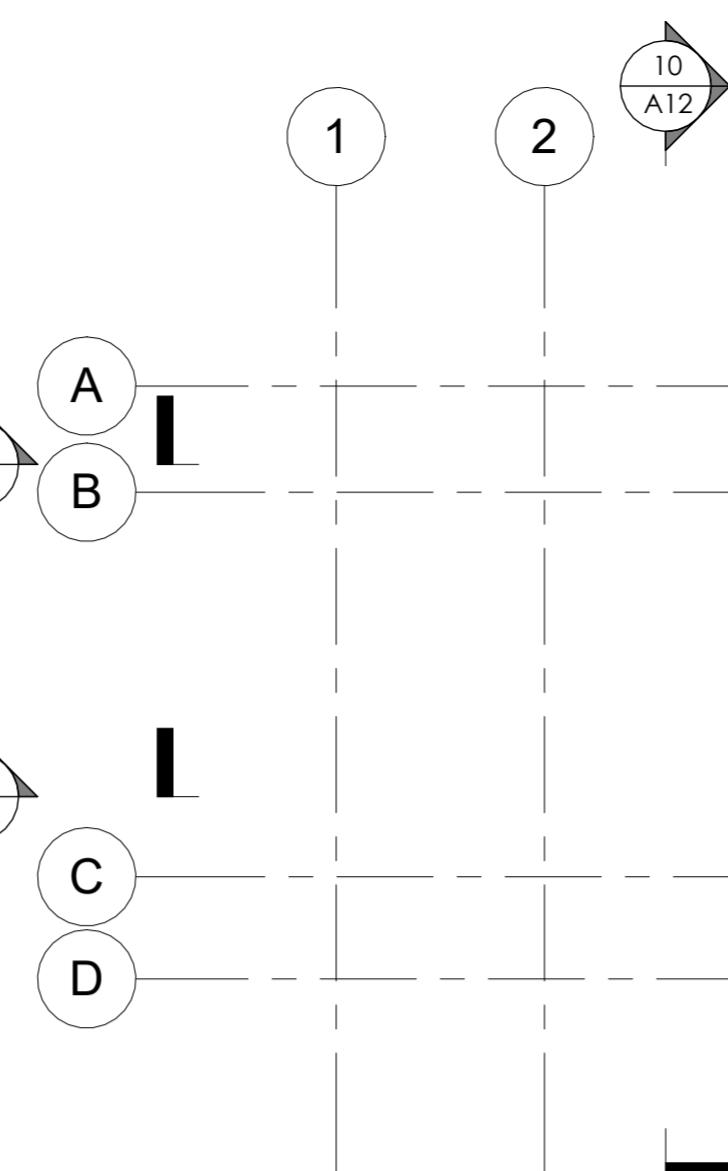
SHEET NO.

A5

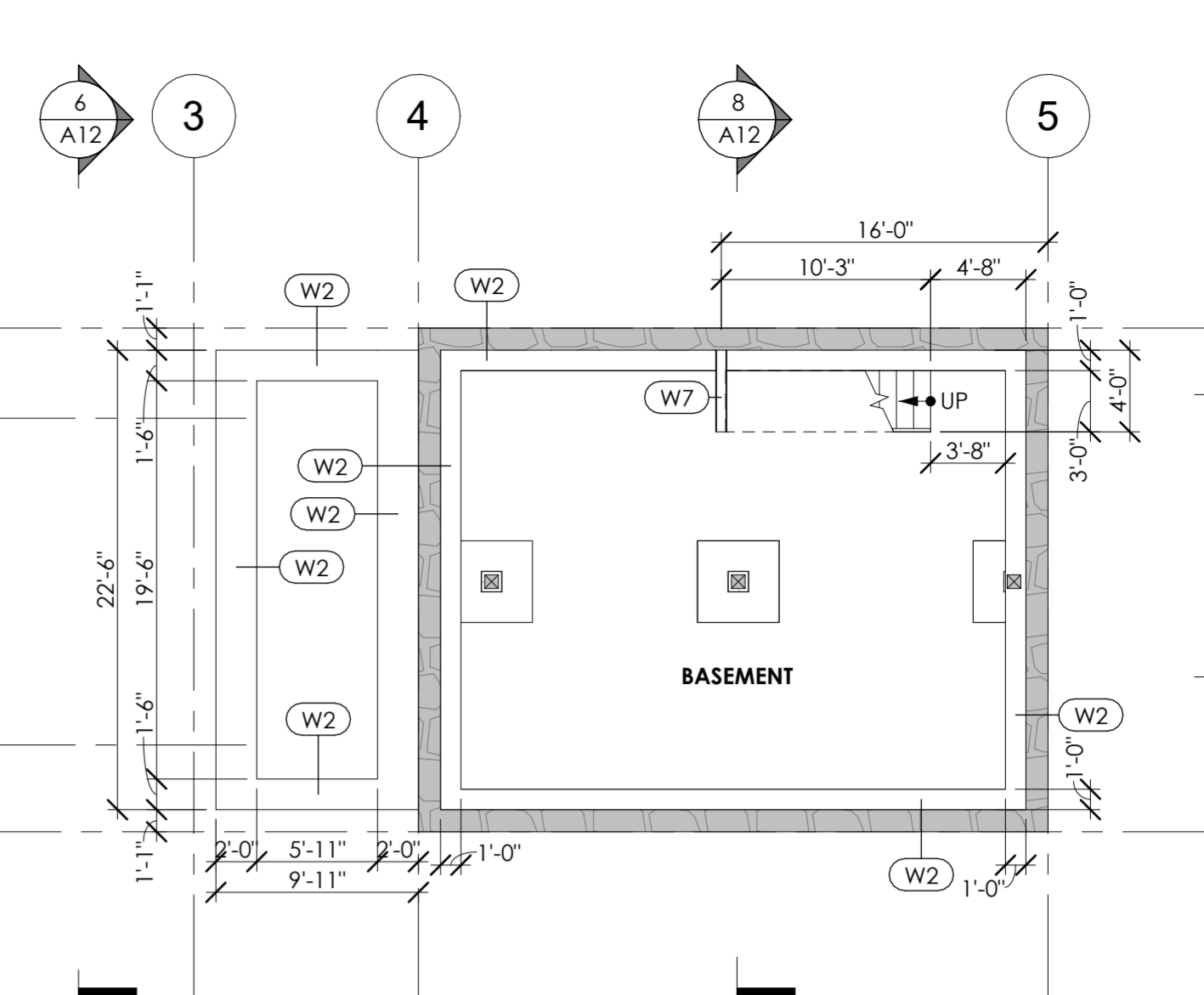
REV. NO.



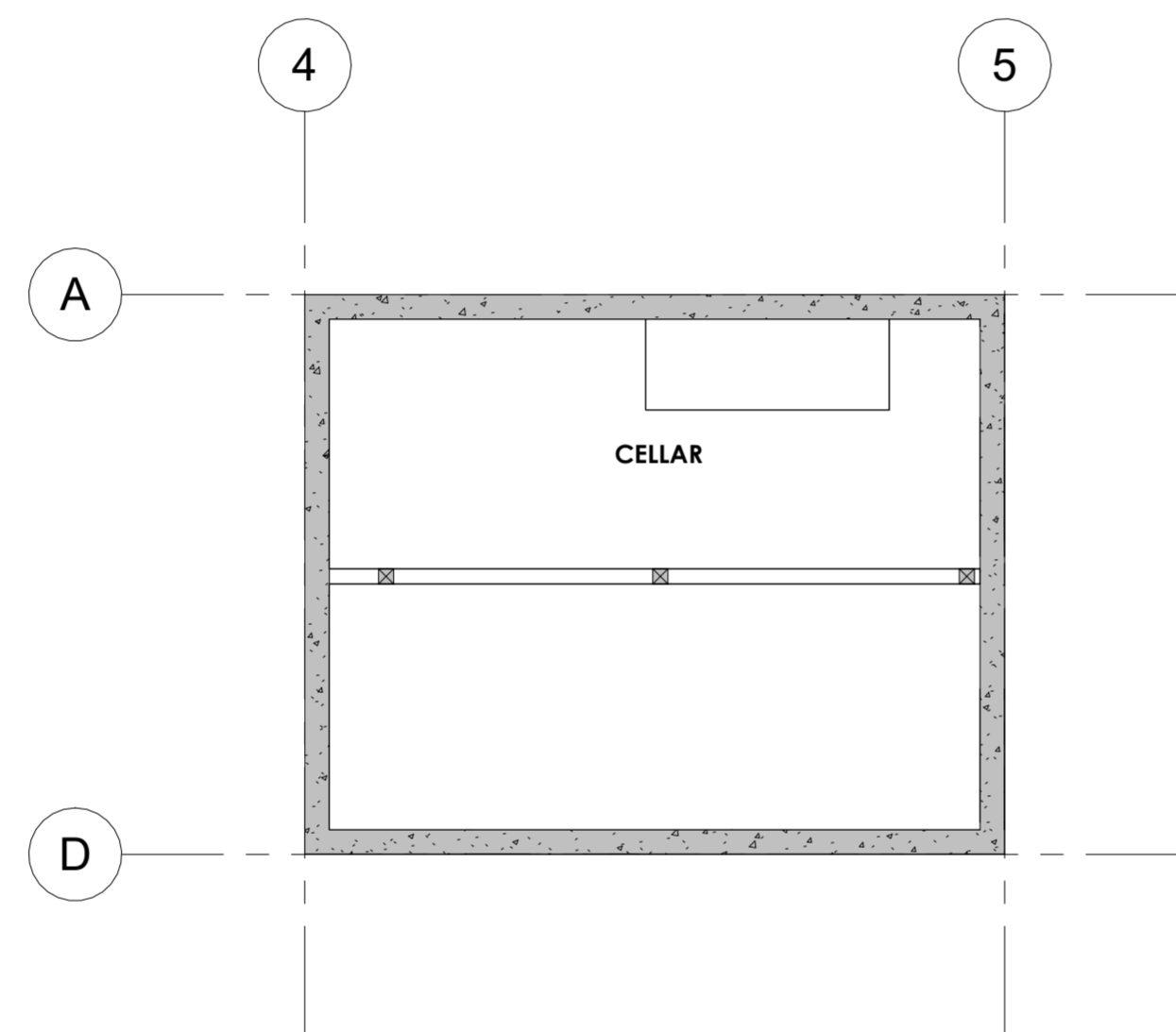
1 BASEMENT-DEMO
1/8" = 1'-0"



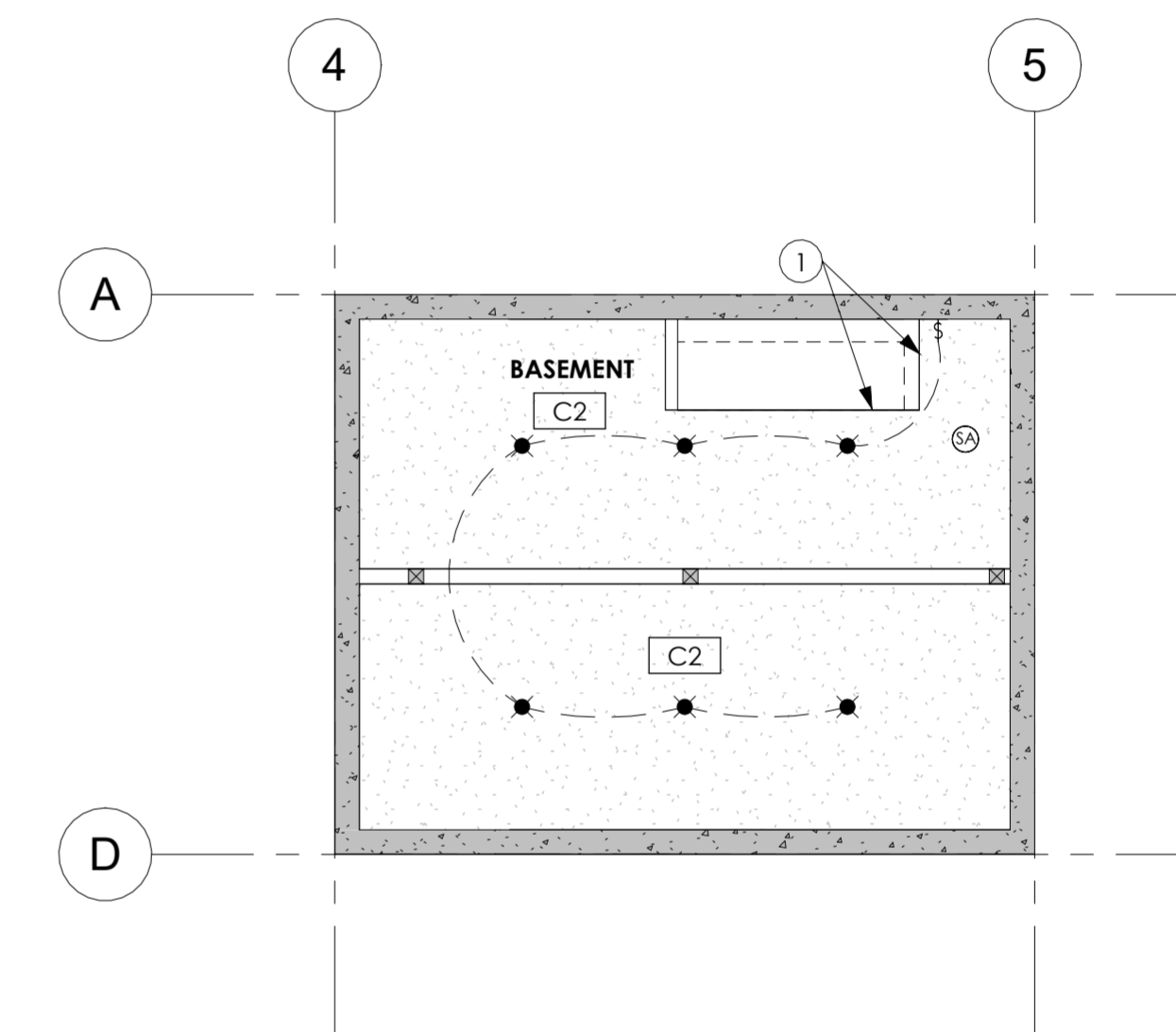
2 BASEMENT-NEW
1/8" = 1'-0"



4 BASEMENT RCP-NEW
1/8" = 1'-0"

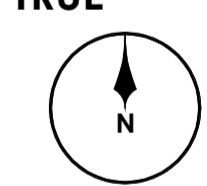



3 BASEMENT RCP-DEMO
1/8" = 1'-0"



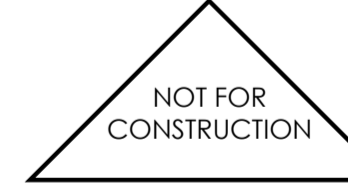
DRAWING NOTES

SEAL

TRUE 

PROJECT 

USE



NOT FOR CONSTRUCTION

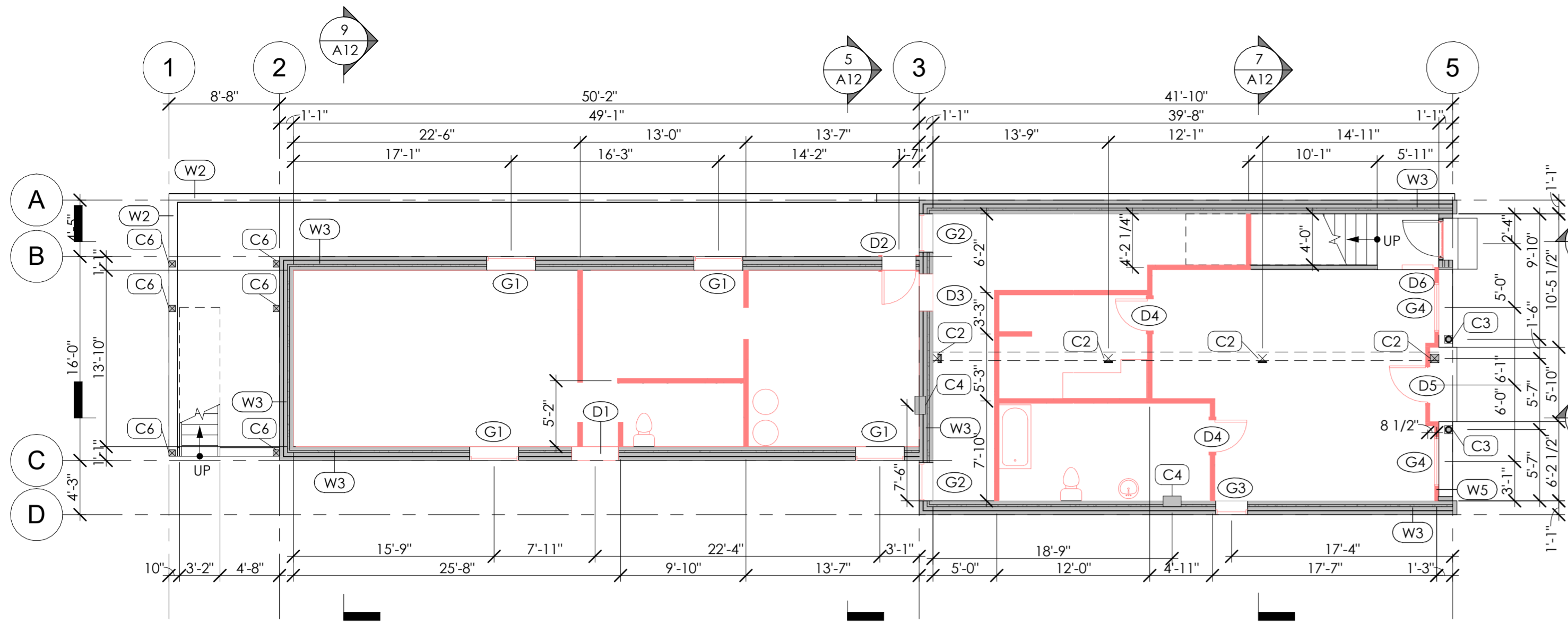
REVISIONS/HISTORY

DATE	NUMBER	DESCRIPTION
2023-12-29	0	DP/BP

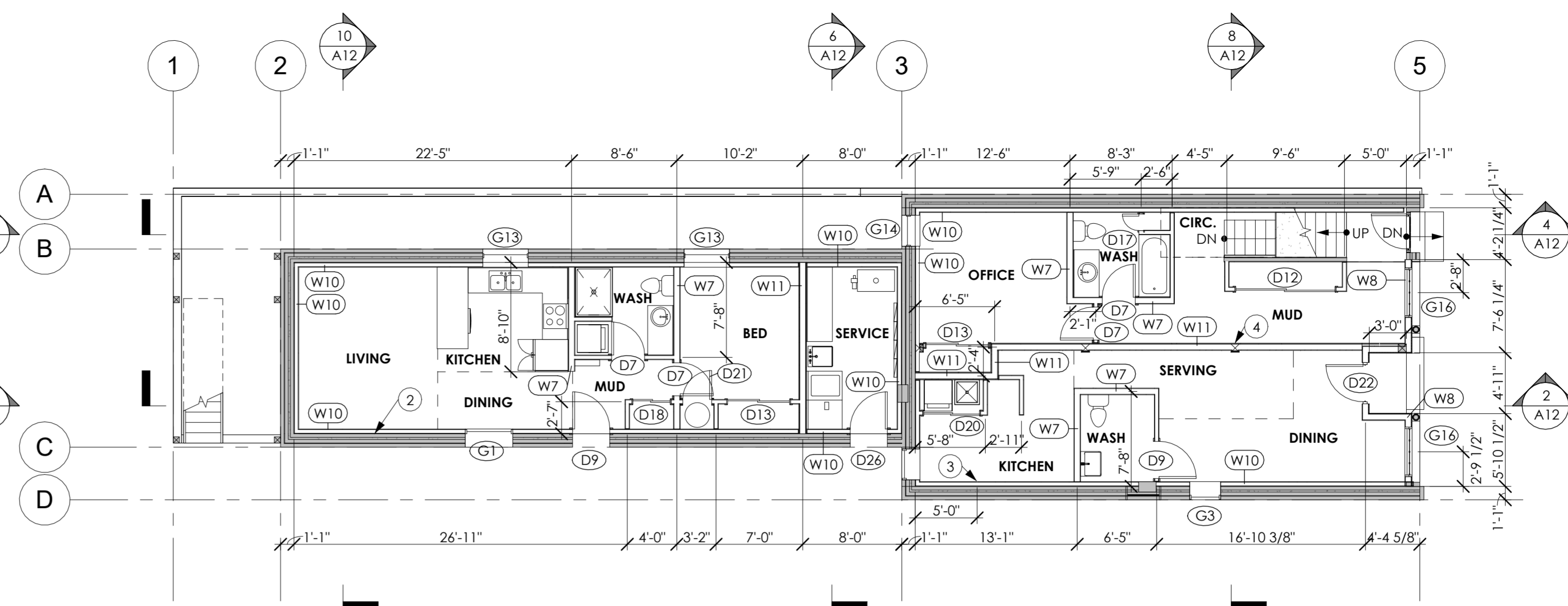
SHEET NAME
LEVEL 1

SHEET NO.
A6

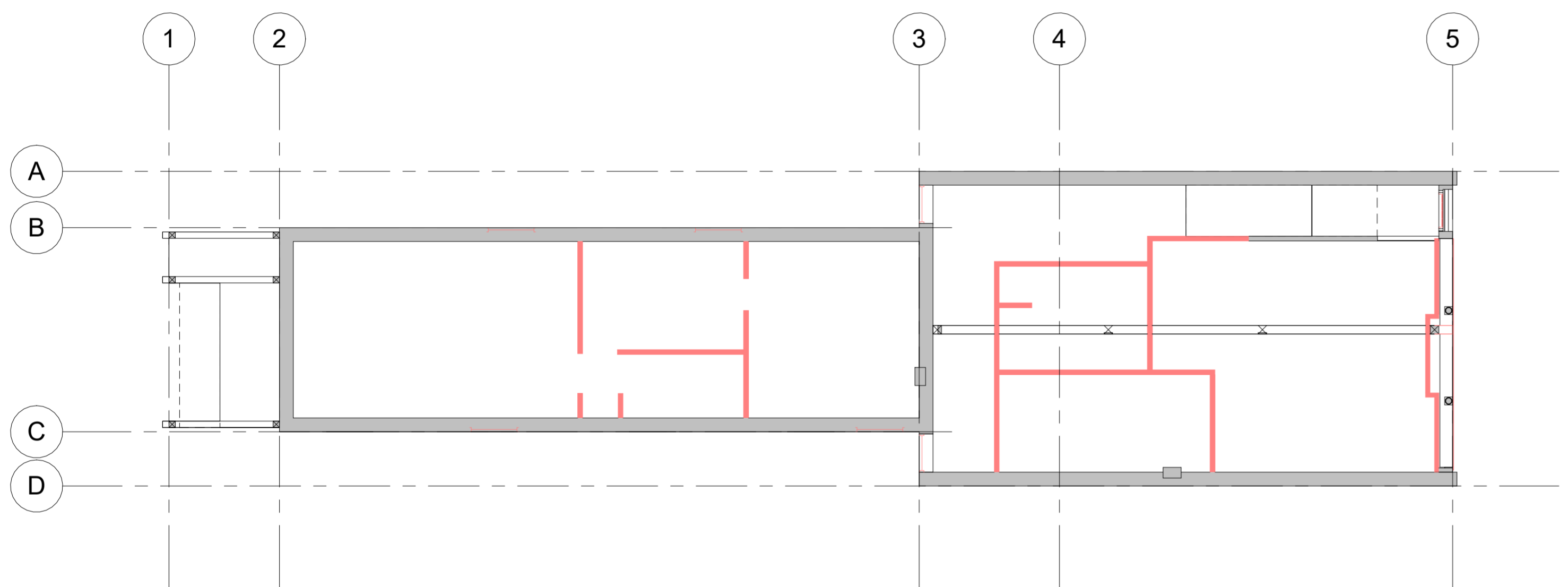
REV. NO.



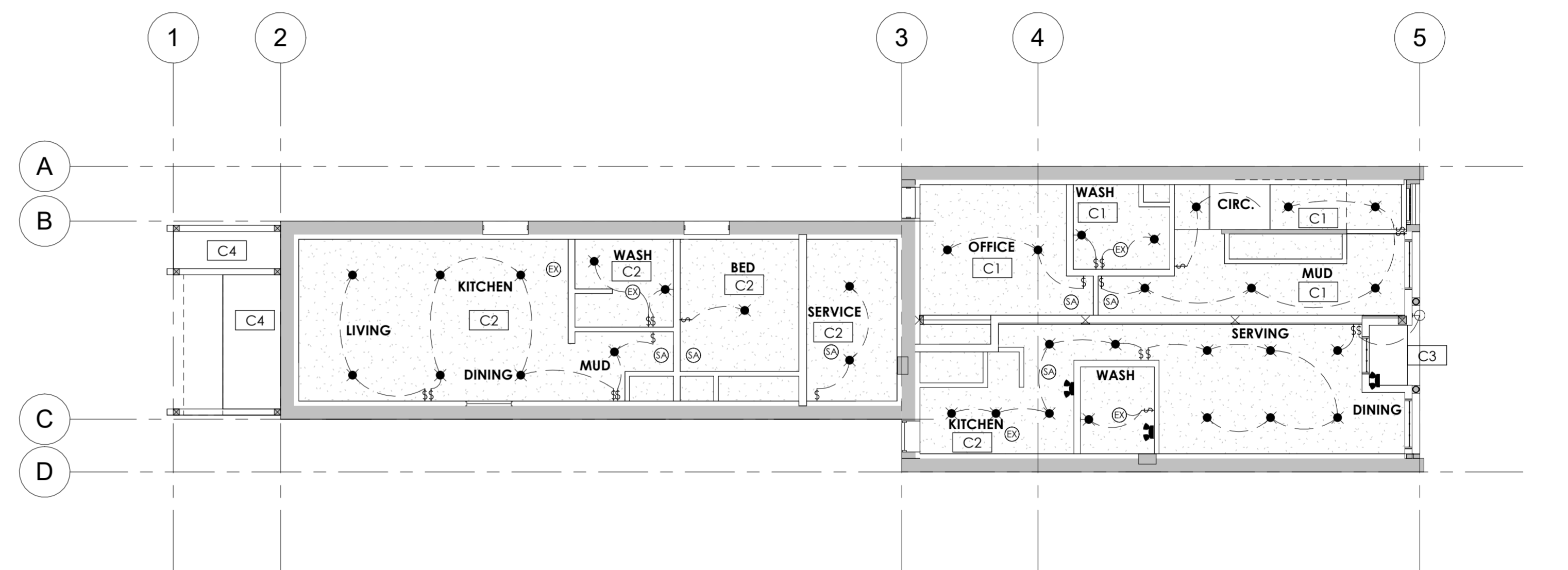
1 LEVEL 1-DEMO
1/8" = 1'-0"



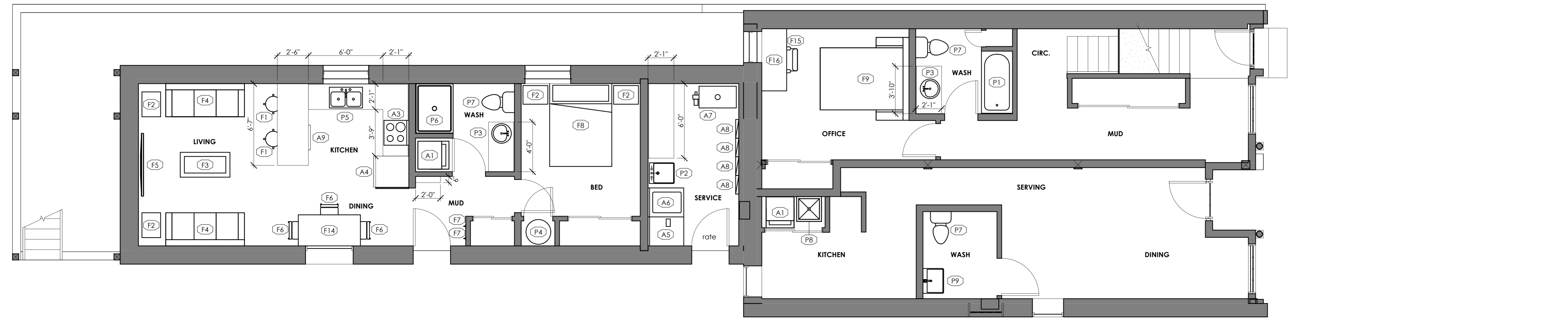
2 LEVEL 1-NEW
1/8" = 1'-0"



3 LEVEL 1 RCP-DEMO
1/8" = 1'-0"



4 LEVEL 1 RCP-NEW
1/8" = 1'-0"



5 LEVEL 1-FURNITURE
1/4" = 1'-0"

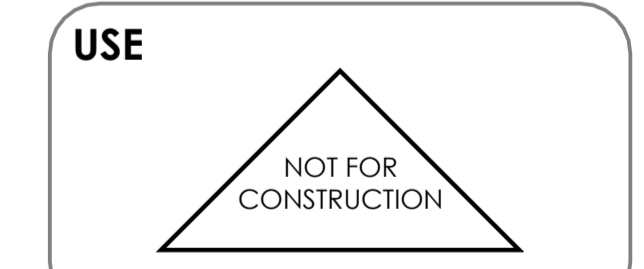
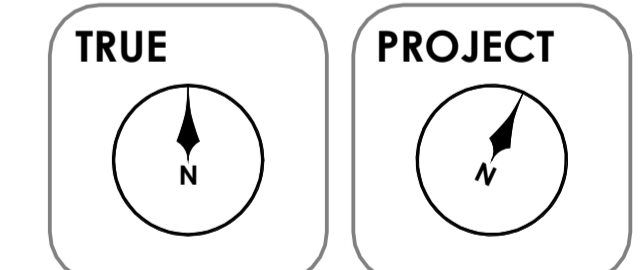
PROJECT NAME
331 FRONT STREET RENOVATION

ADDRESS
331 FRONT STREET
KASLO BC
VOG1M0

CLIENT
OWNER

DRAWING NOTES

SEAL

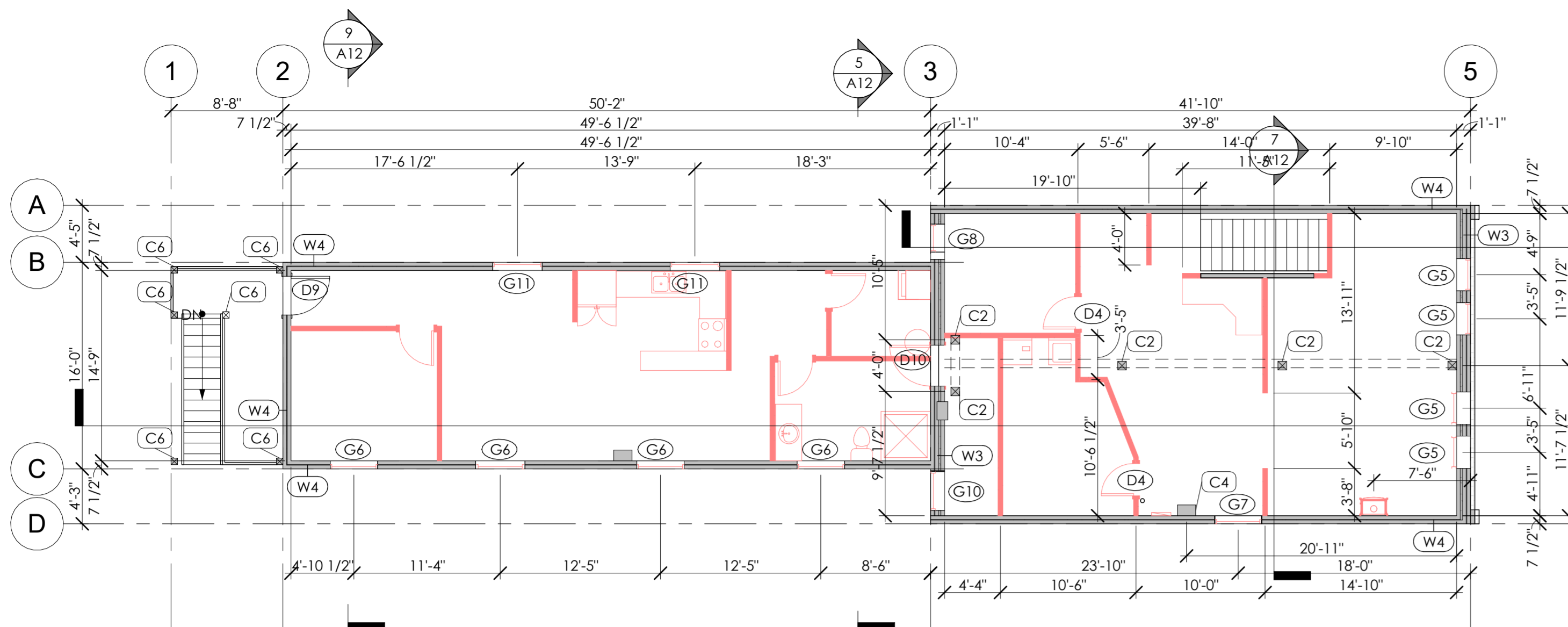


REVISIONS/HISTORY		
DATE	NUMBER	DESCRIPTION
2023-12-29	0	DP/BP

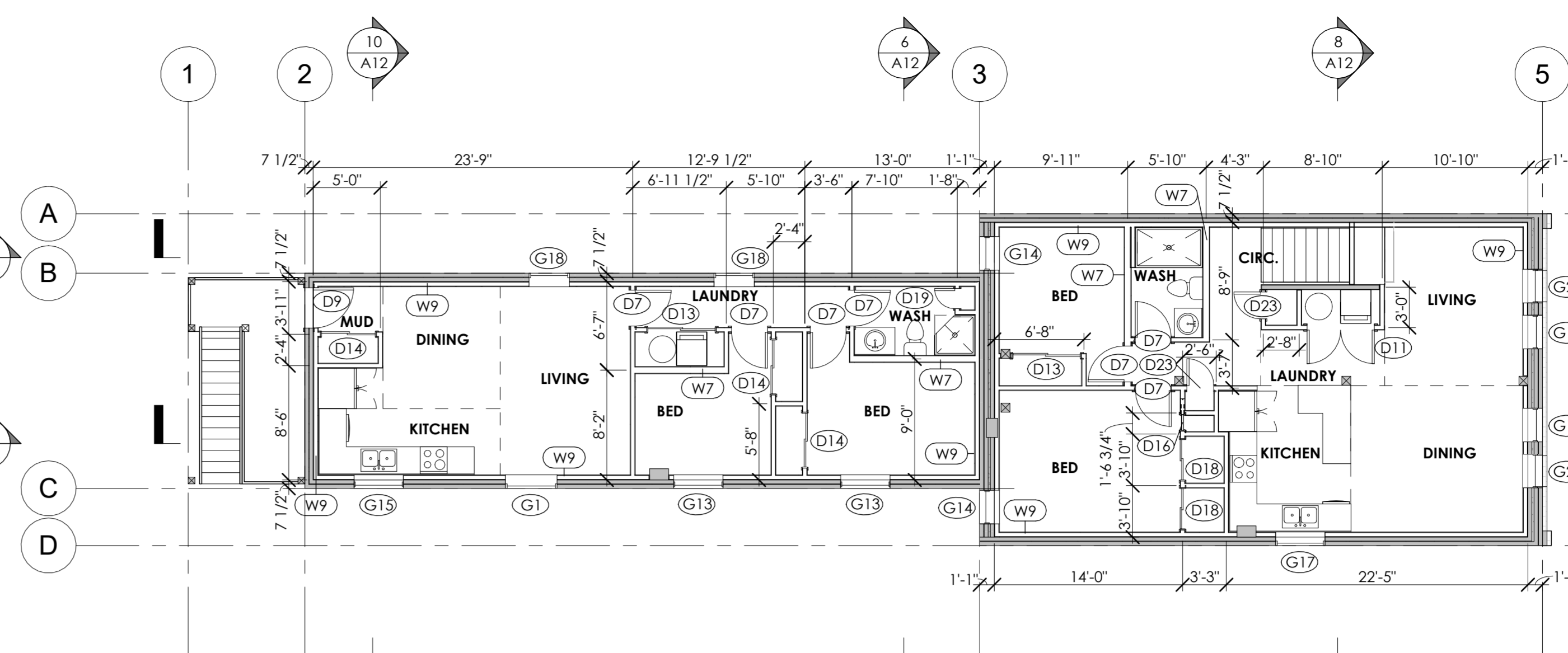
SHEET NAME
LEVEL 2

SHEET NO.
A7

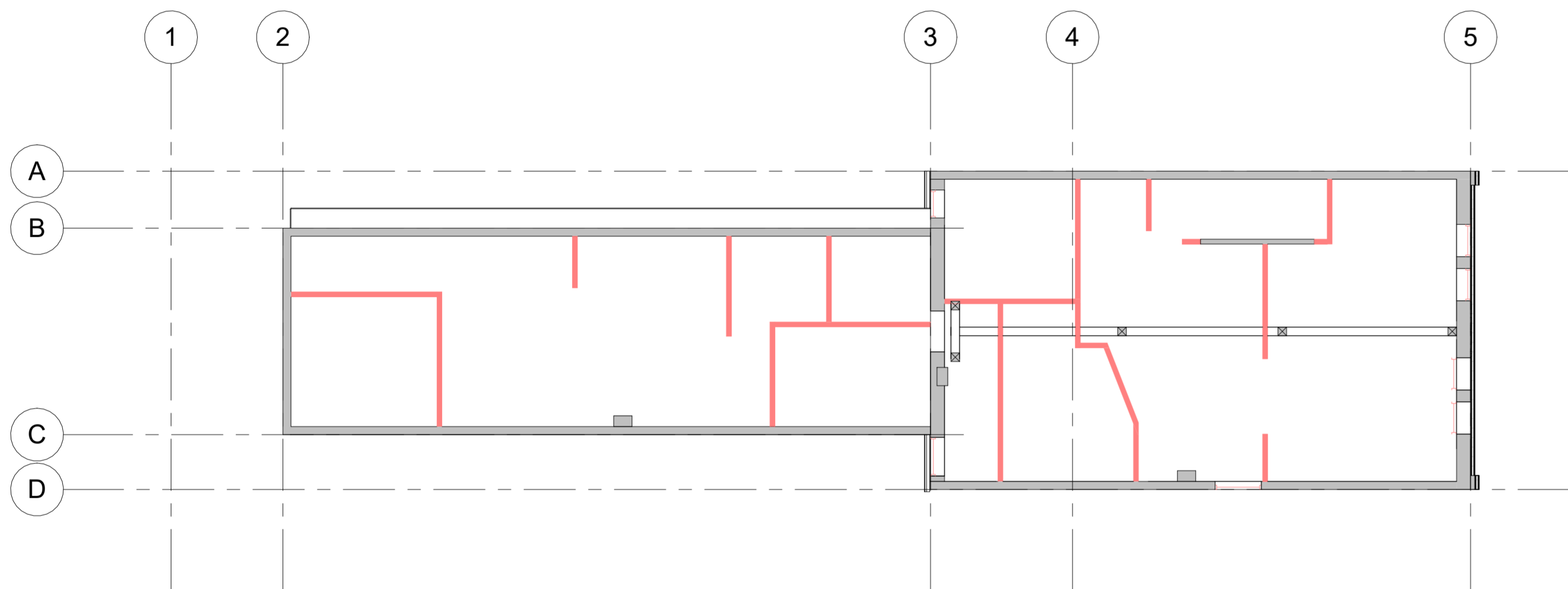
REV. NO.



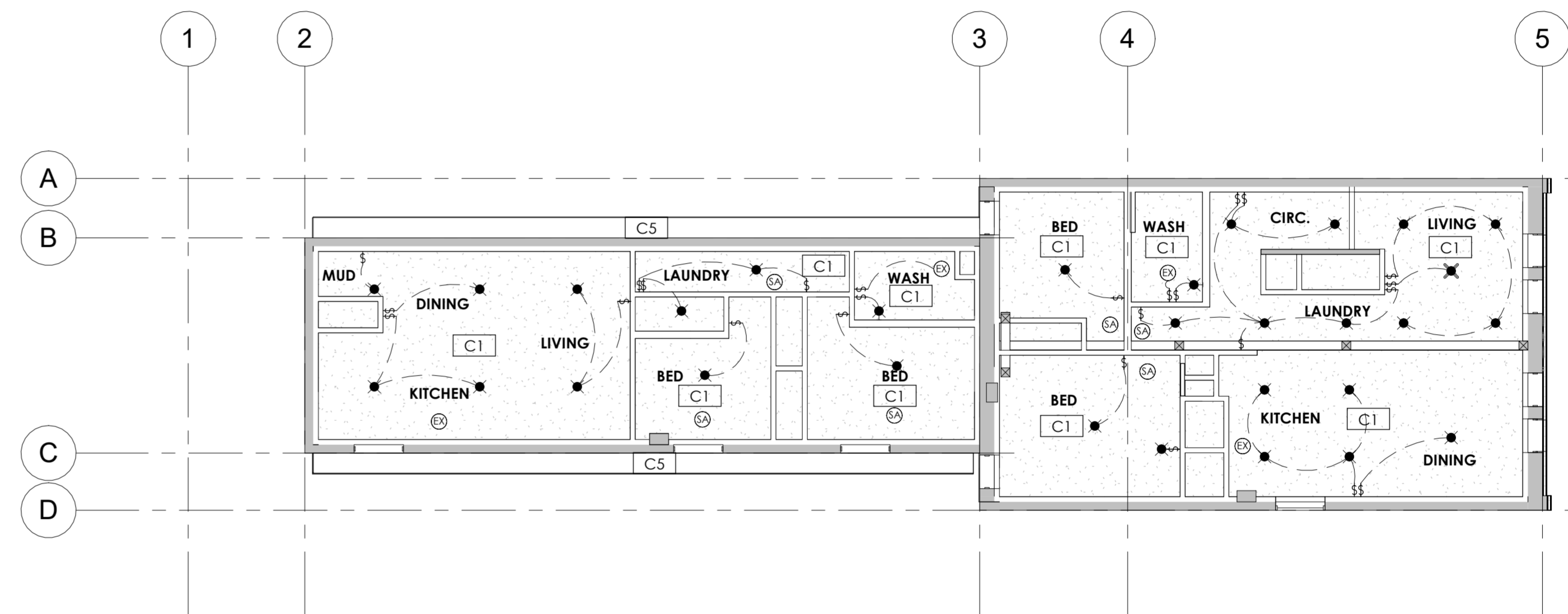
1 LEVEL 2-DEMO
1/8" = 1'-0"



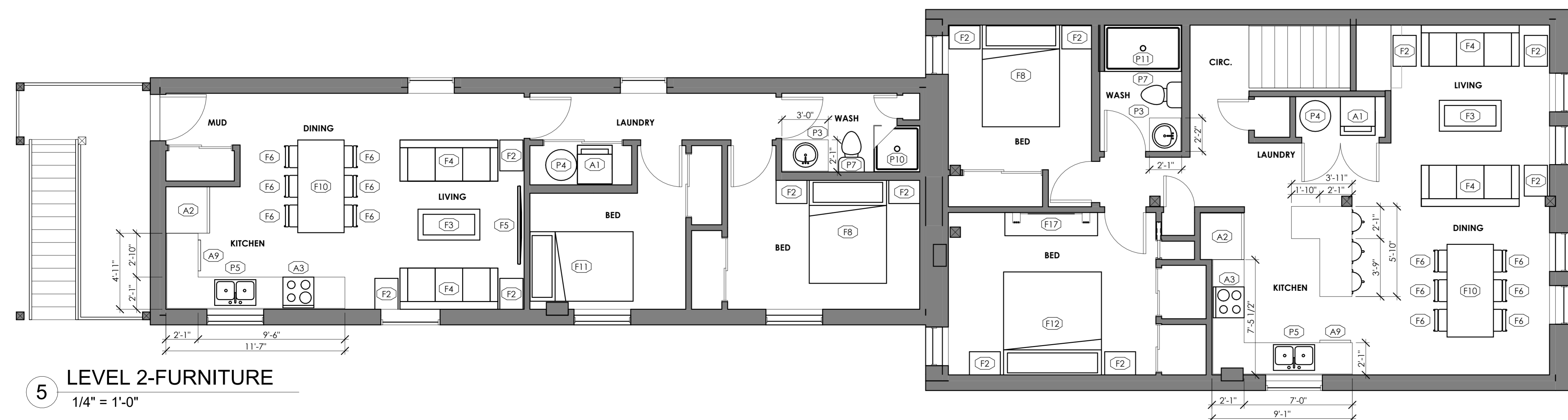
2 LEVEL 2-NEW
1/8" = 1'-0"



3 LEVEL 2.5 RCP-DEMO
1/8" = 1'-0"



4 LEVEL 2.5 RCP-NEW
1/8" = 1'-0"



5 LEVEL 2-FURNITURE
1/4" = 1'-0"

PROJECT NAME
331 FRONT STREET RENOVATION

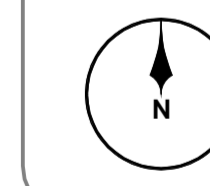
ADDRESS
331 FRONT STREET
KASLO BC
VOG1M0

CLIENT
OWNER

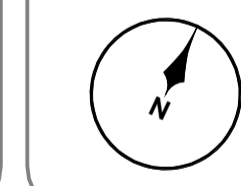
DRAWING NOTES

SEAL

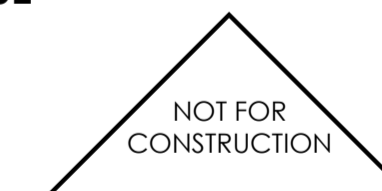
TRUE



PROJECT



USE



REVISIONS/HISTORY

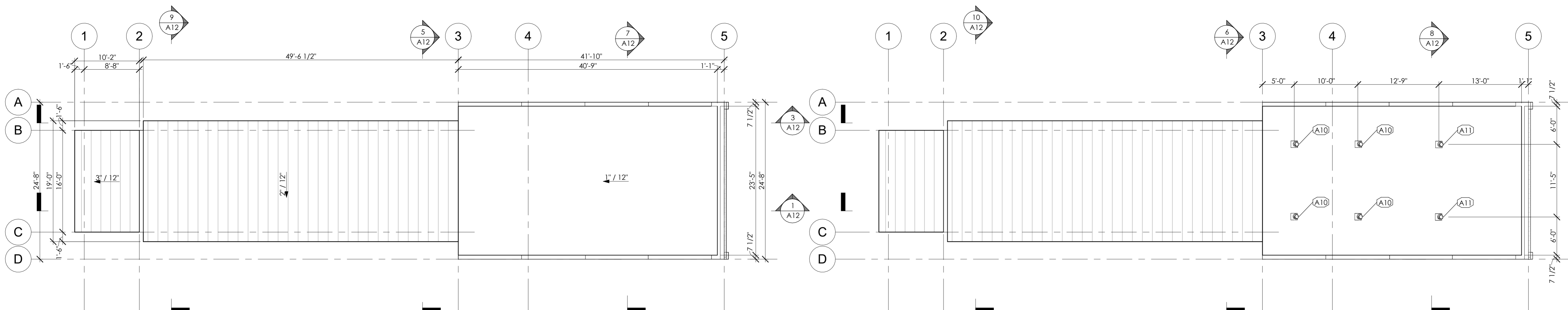
DATE	NUMBER	DESCRIPTION
2023-12-29	Approver	Checker

SHEET NAME
ROOF

SHEET NO.

A8

REV. NO.



1 ROOF-DEMO
1/8" = 1'-0"

2 ROOF-NEW
1/8" = 1'-0"

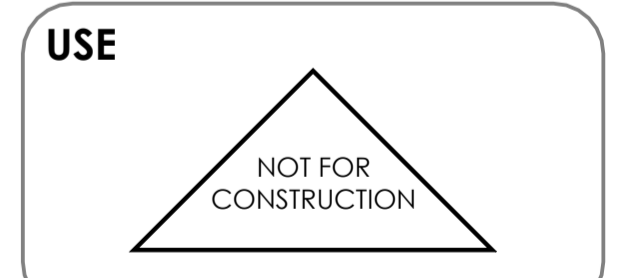
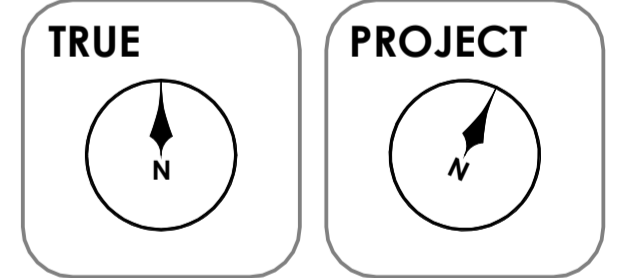
PROJECT NAME
331 FRONT STREET RENOVATION

ADDRESS
331 FRONT STREET
KASLO BC
VOG1M0

CLIENT
OWNER

DRAWING NOTES

SEAL



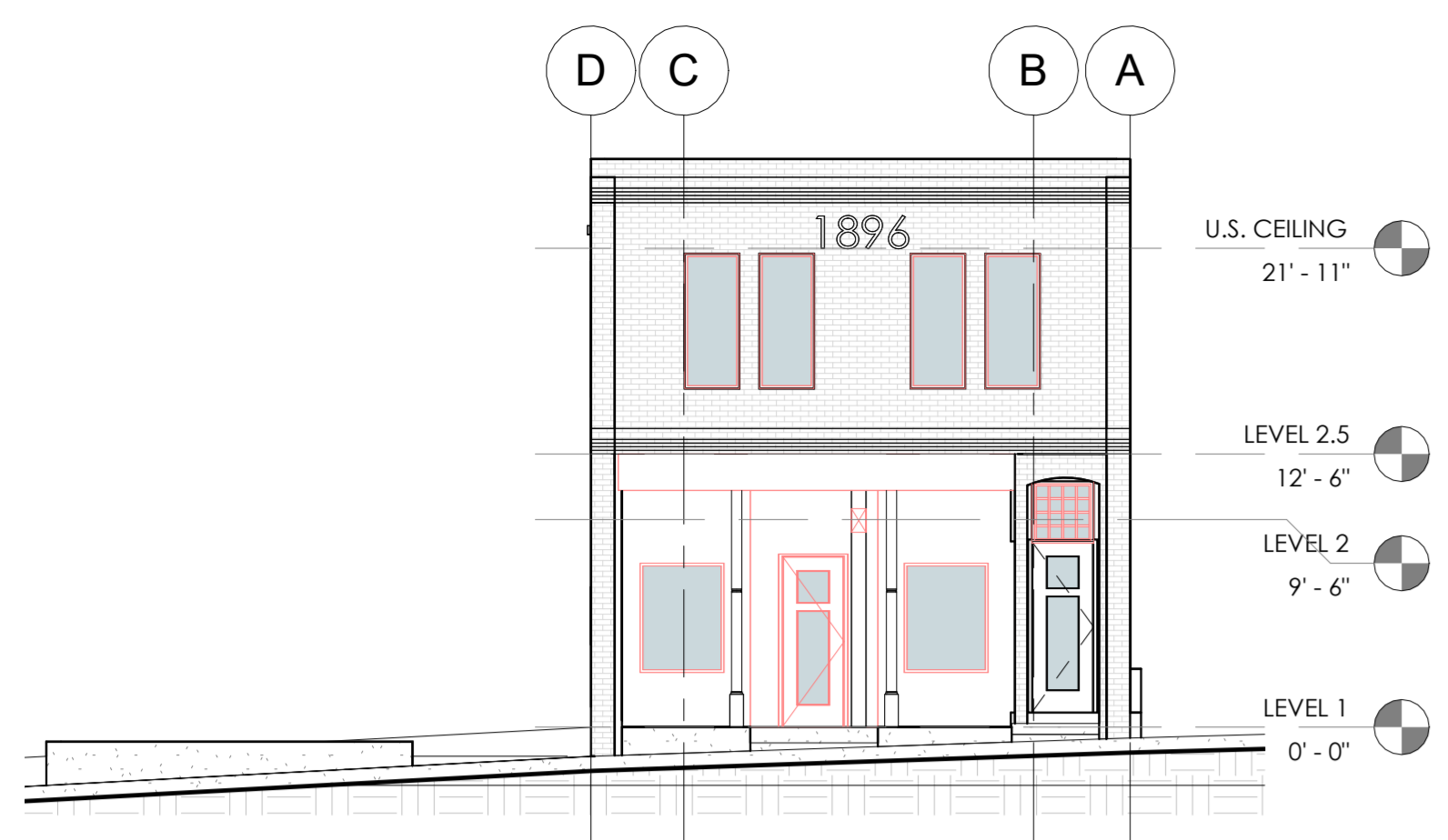
REVISIONS/HISTORY

DATE	NUMBER	DESCRIPTION
2023-12-29	0	DP/BP

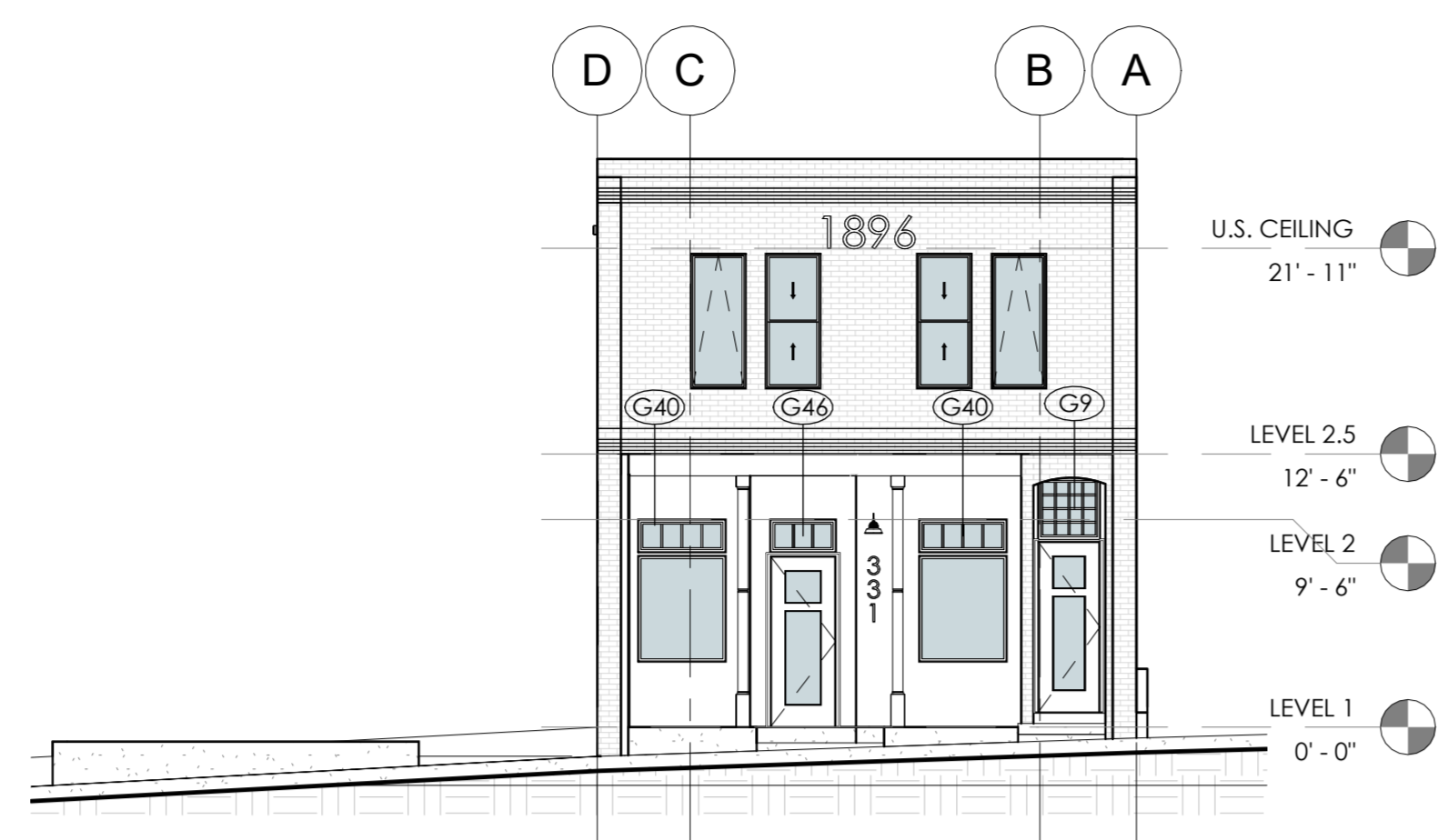
SHEET NAME
ELEVATIONS

SHEET NO.
A9

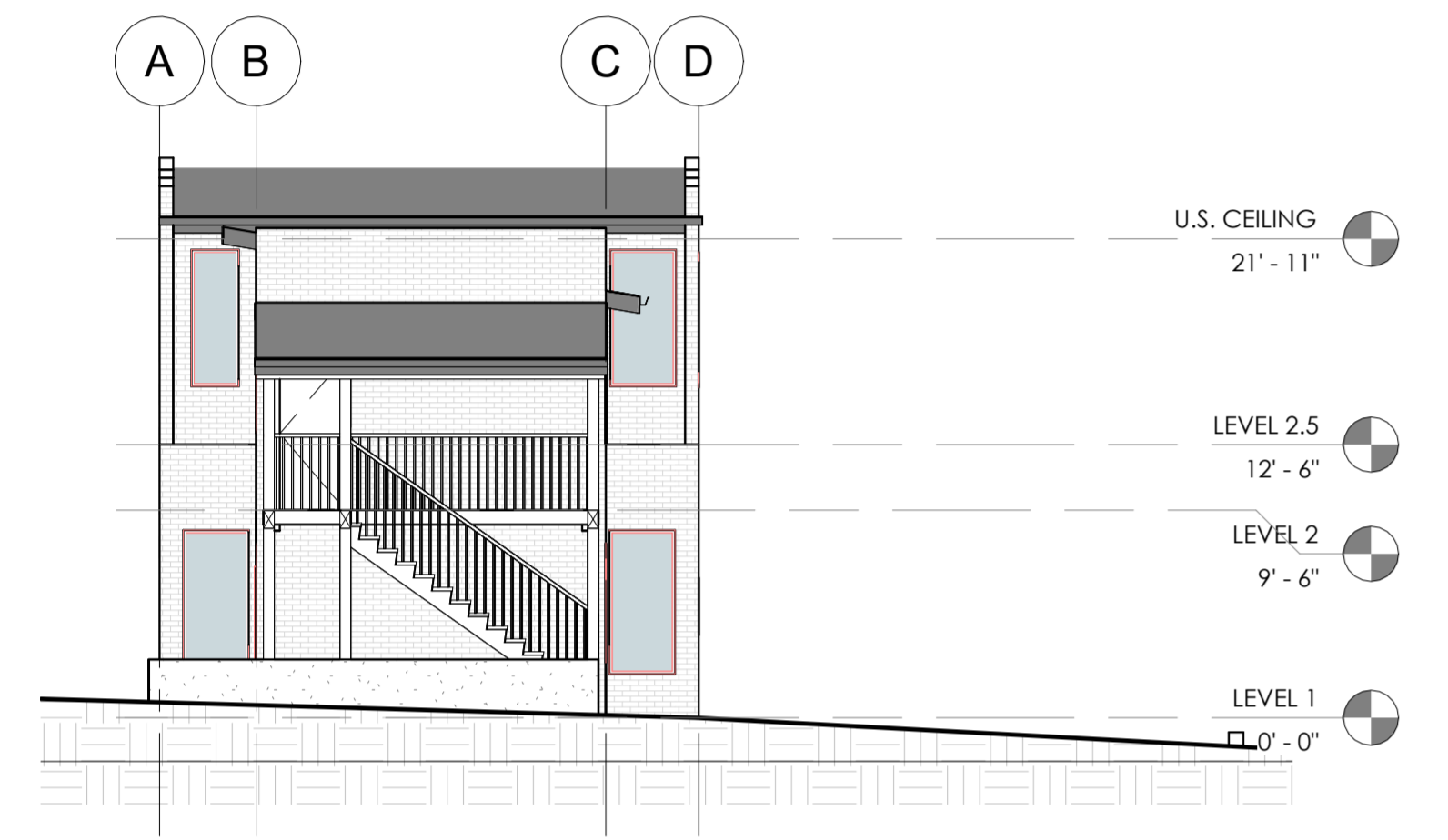
REV. NO.



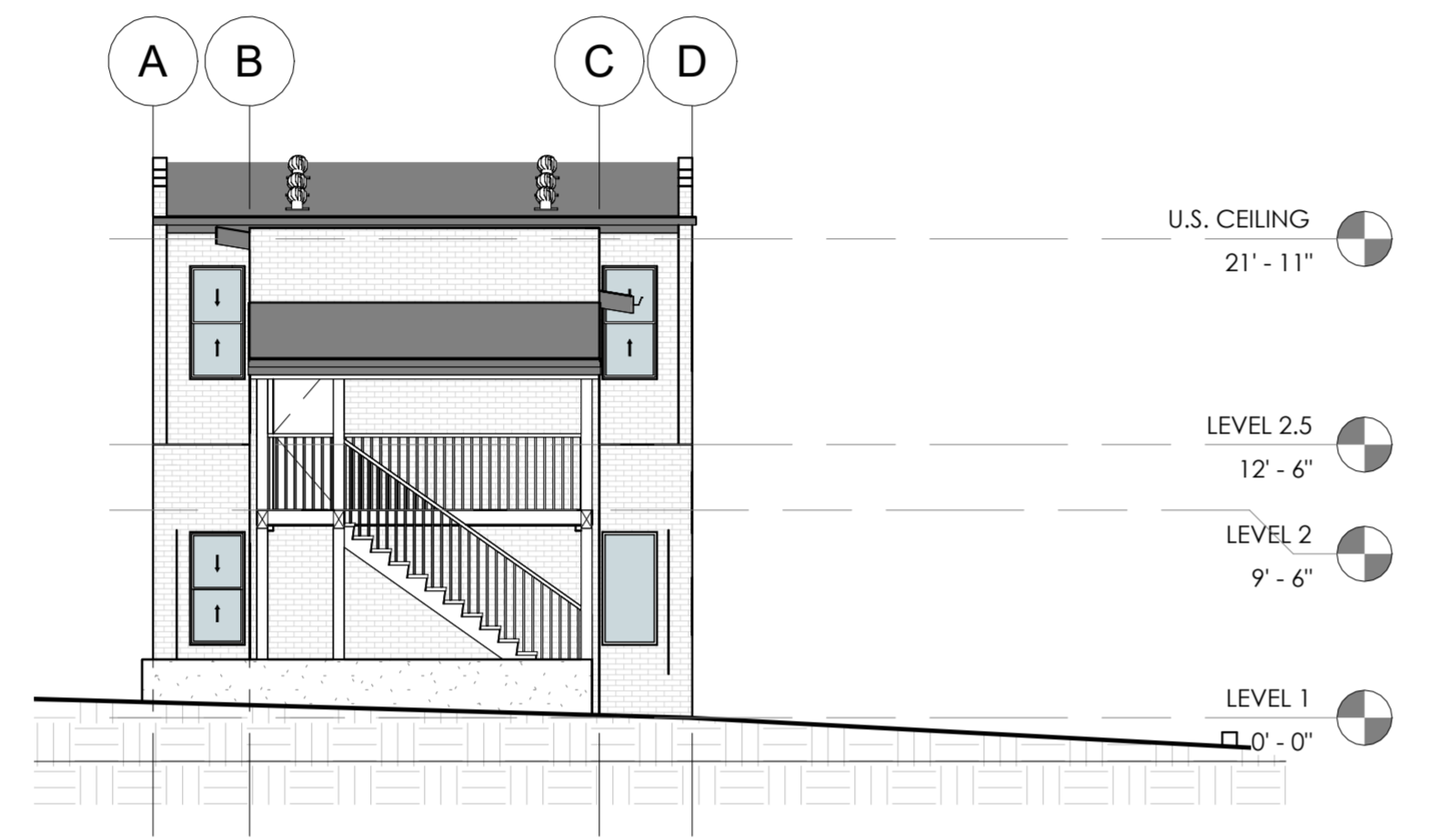
1 NORTH-DEMO
1/8" = 1'-0"



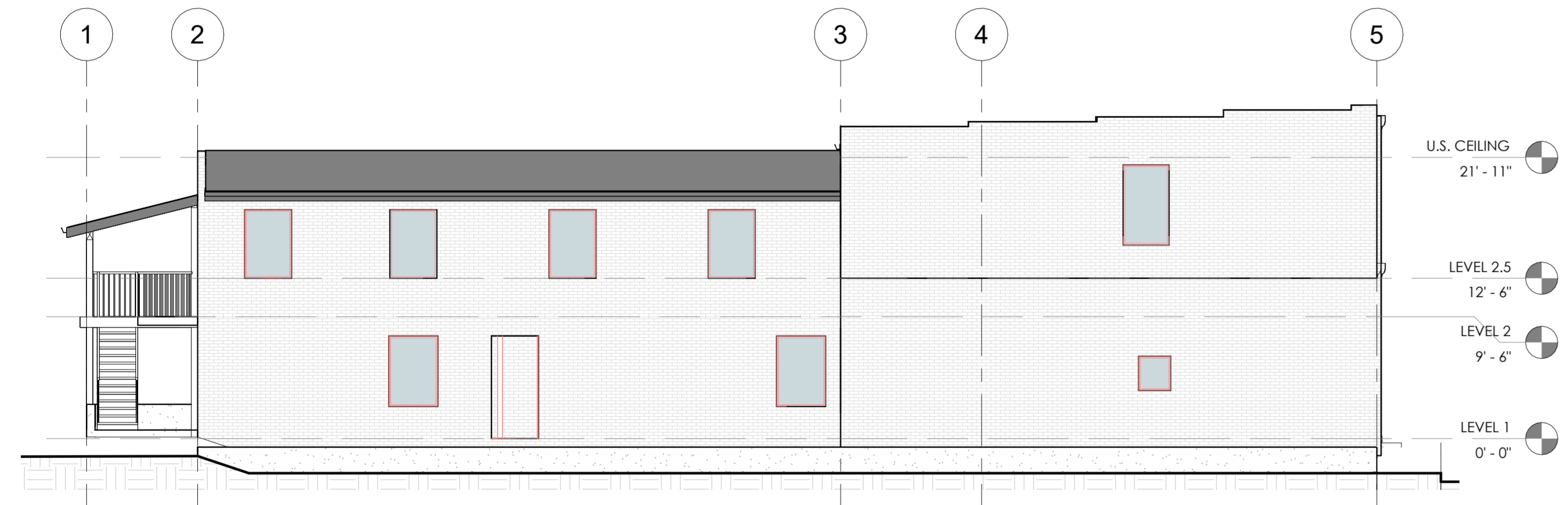
2 NORTH-NEW
1/8" = 1'-0"



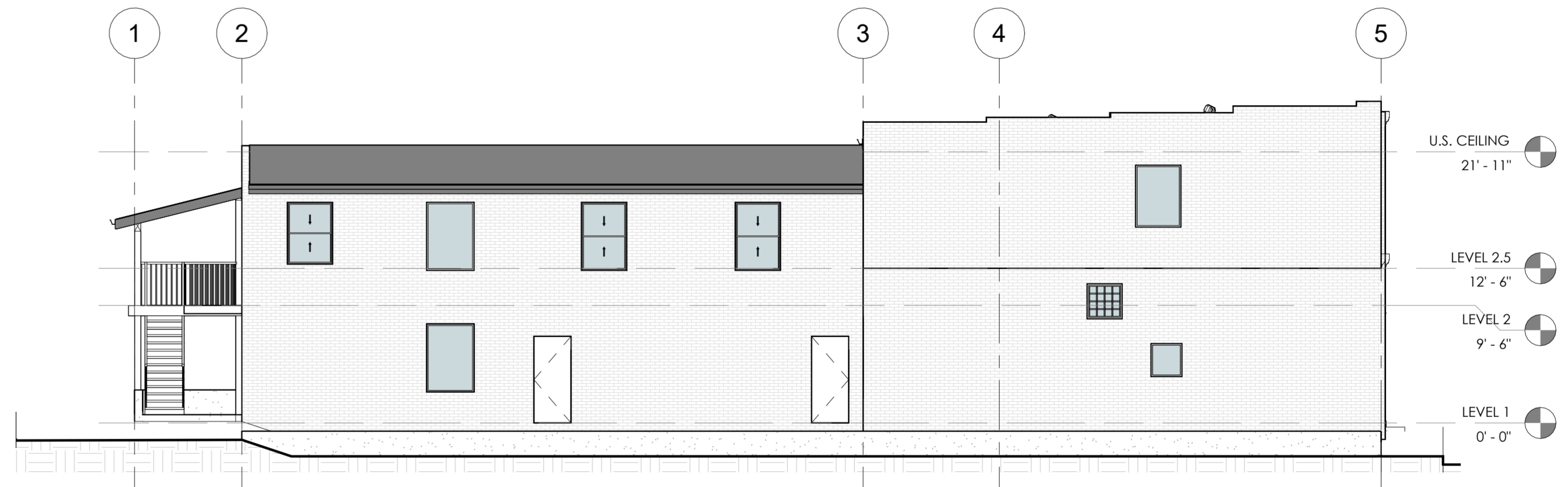
3 SOUTH-DEMO
1/8" = 1'-0"



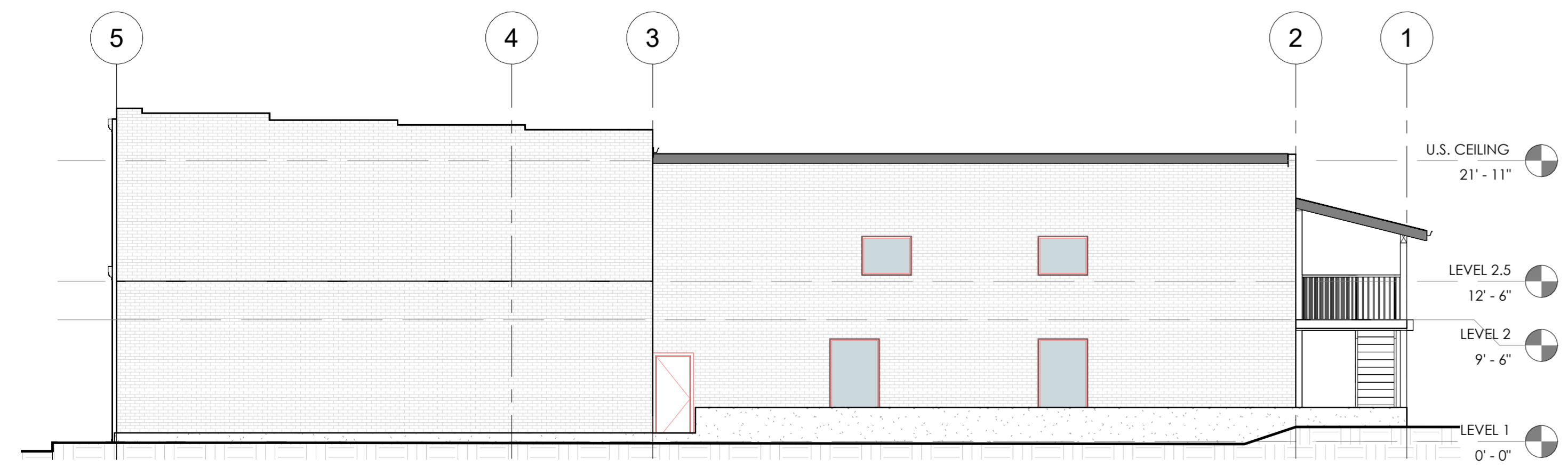
4 SOUTH-NEW
1/8" = 1'-0"



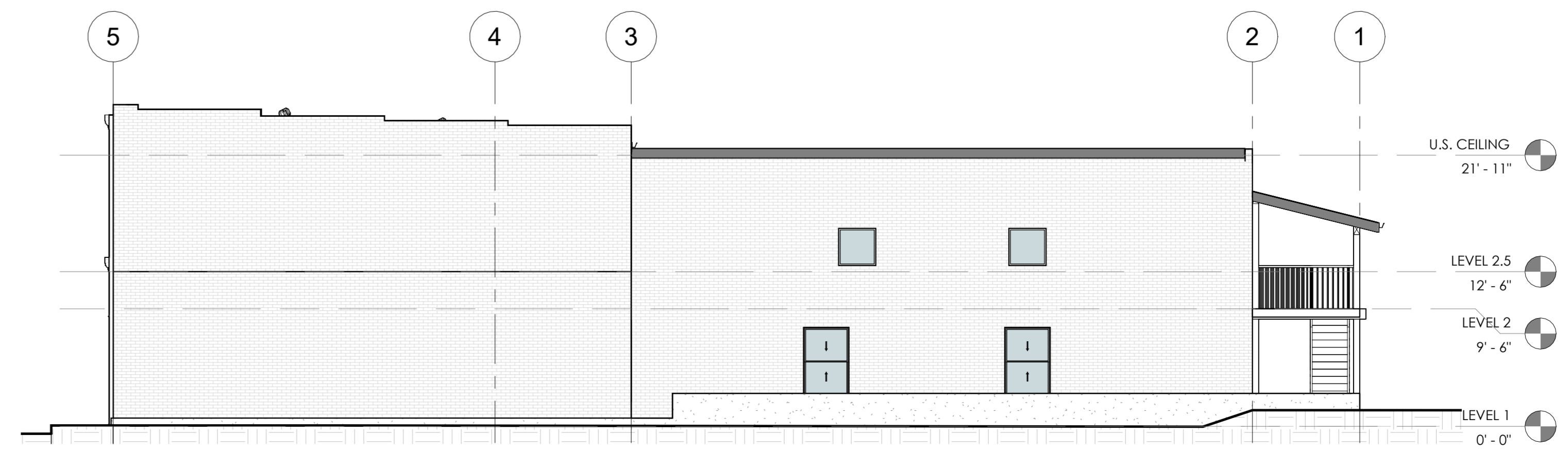
5 EAST-DEMO
1/8" = 1'-0"



6 EAST-NEW
1/8" = 1'-0"



7 WEST-DEMO
1/8" = 1'-0"



8 WEST-NEW
1/8" = 1'-0"



1 NORTH-RENDER
1/4" = 1'-0"



2 SOUTH-RENDER
1/4" = 1'-0"

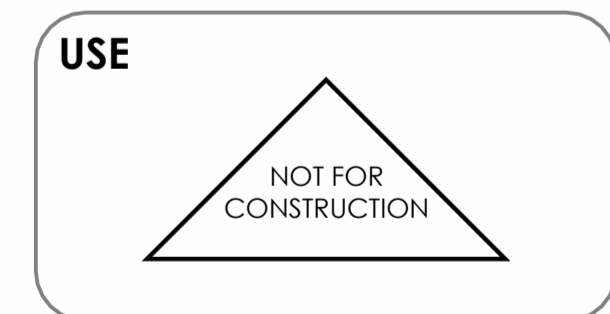
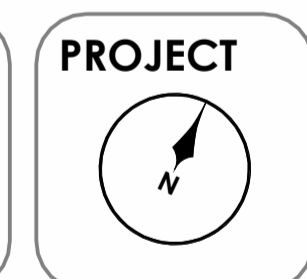
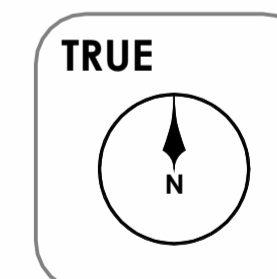
PROJECT NAME
331 FRONT STREET RENOVATION

ADDRESS
331 FRONT STREET
KASLO BC
VOG1M0

CLIENT
OWNER

DRAWING NOTES

SEAL



REVISIONS/HISTORY

DATE	NUMBER	DESCRIPTION
2023-12-29	0	DP/BP

SHEET NAME
ELEVATIONS

SHEET NO.
A10

REV. NO.

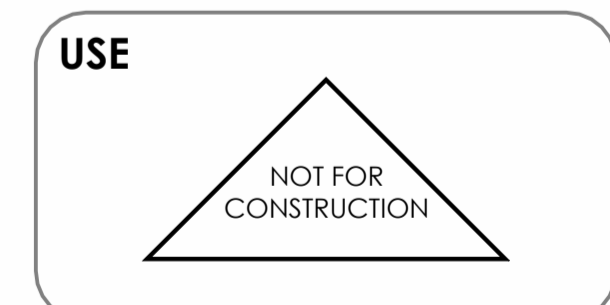
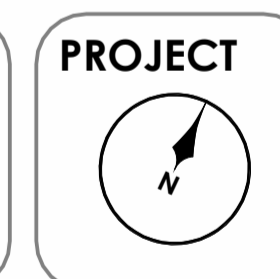
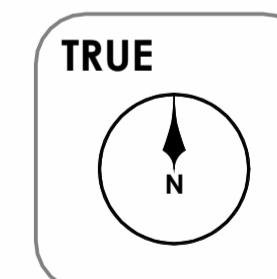
PROJECT NAME
331 FRONT STREET RENOVATION

ADDRESS
331 FRONT STREET
KASLO BC
VOG1M0

CLIENT
OWNER

DRAWING NOTES

SEAL



REVISIONS/HISTORY

DATE	NUMBER	DESCRIPTION
2023-12-29	0	DP/BP

SHEET NAME
ELEVATIONS

SHEET NO.
A11

REV. NO.



1 EAST-RENDER
1/4" = 1'-0"



2 WEST-RENDER
1/4" = 1'-0"

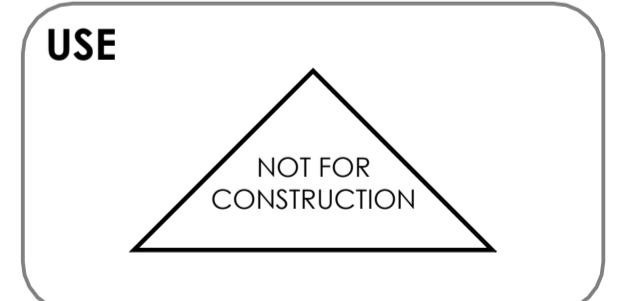
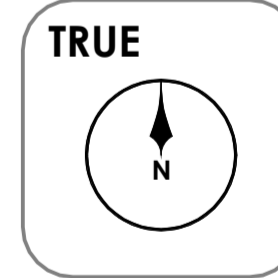
PROJECT NAME
331 FRONT STREET RENOVATION

ADDRESS
331 FRONT STREET
KASLO BC
VOG1M0

CLIENT
OWNER

DRAWING NOTES

SEAL



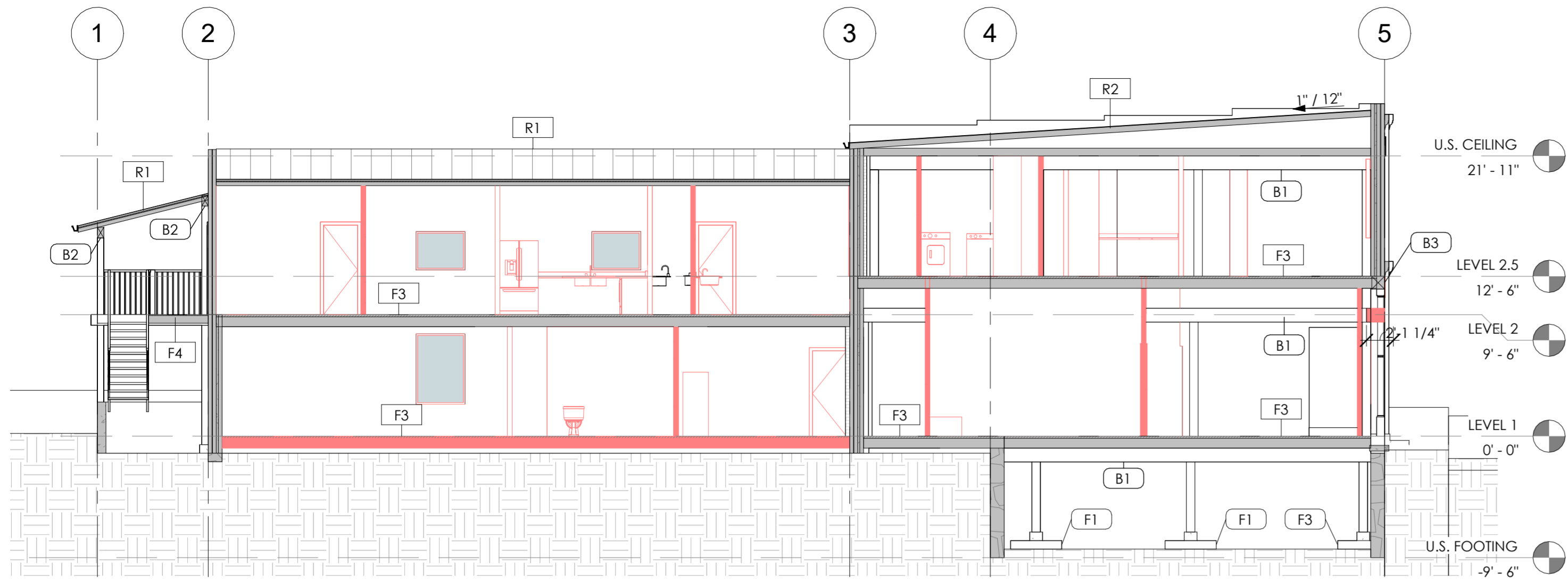
REVISIONS/HISTORY

DATE	NUMBER	DESCRIPTION
2023-12-29	0	DP/BP

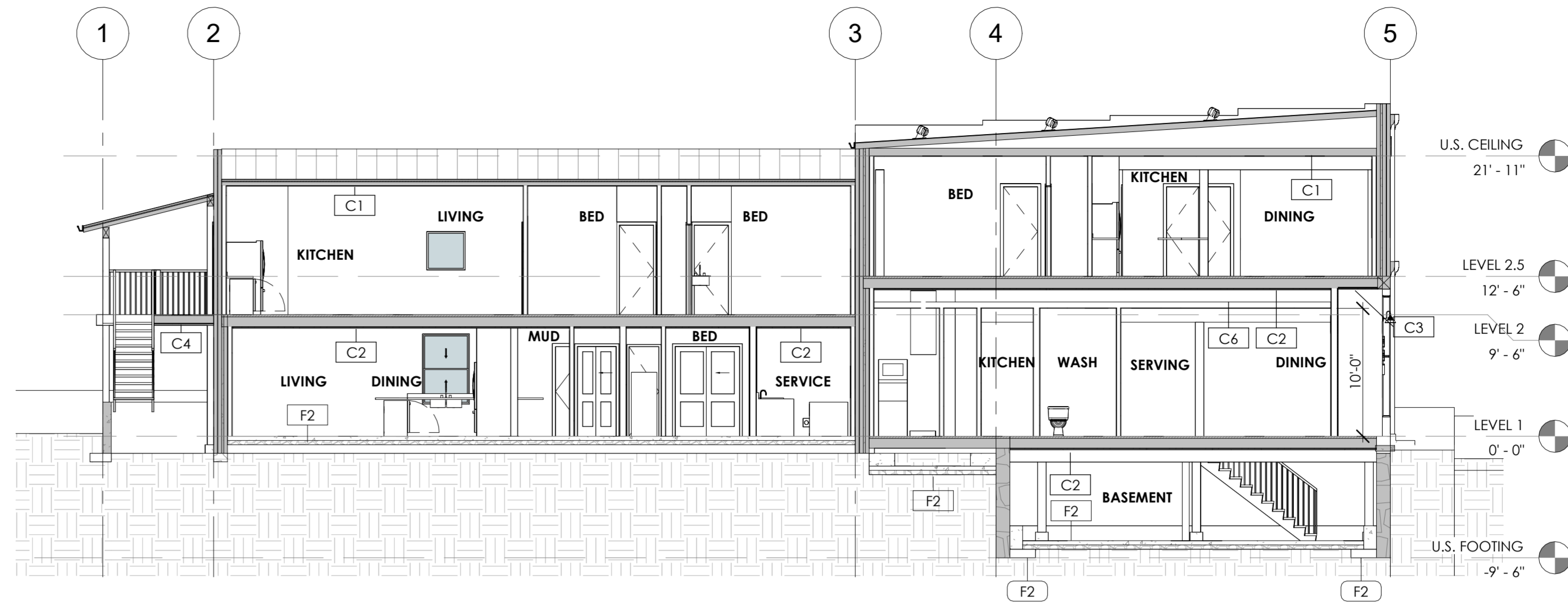
SHEET NAME
SECTIONS

SHEET NO.
A12

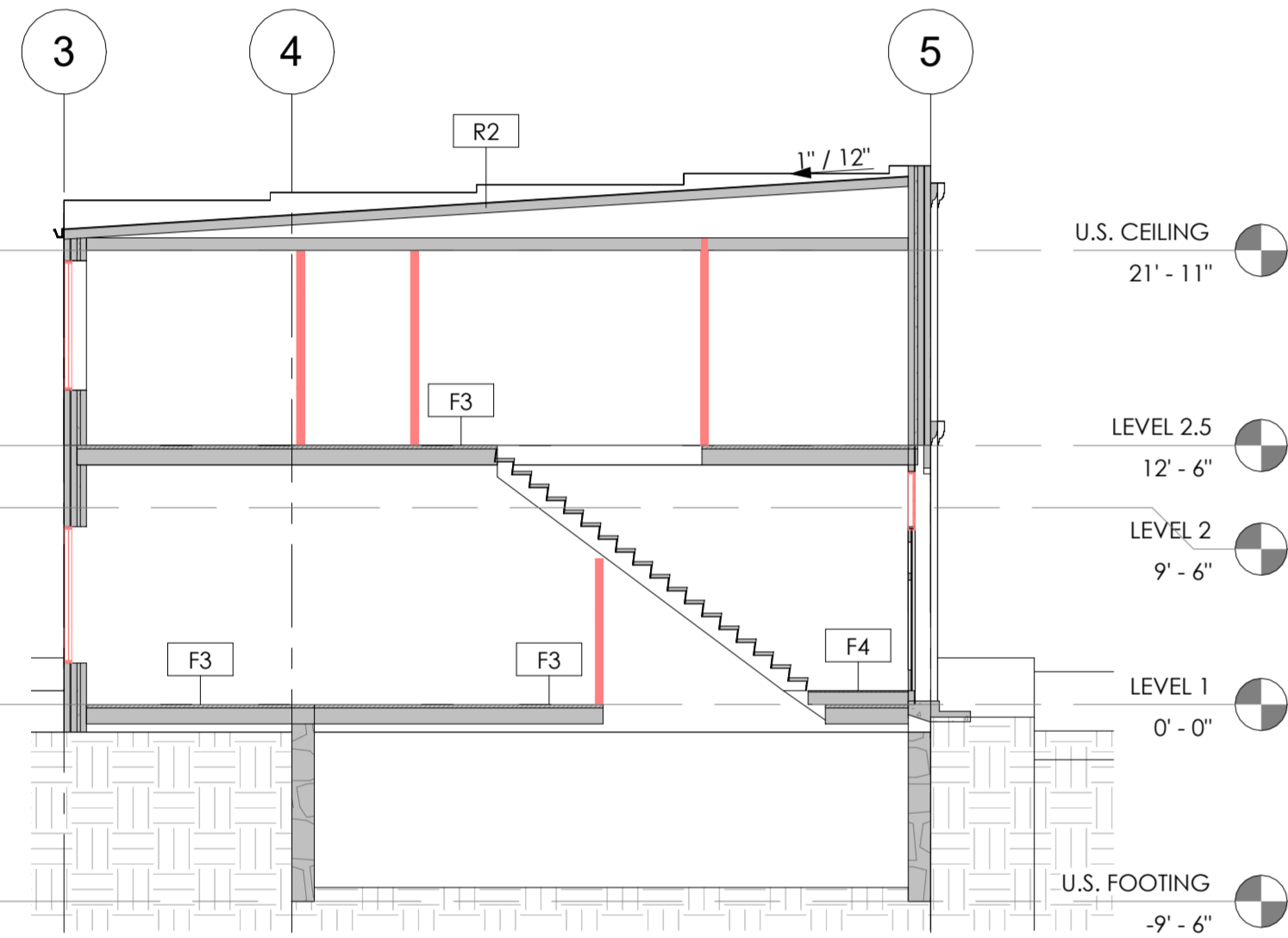
REV. NO.



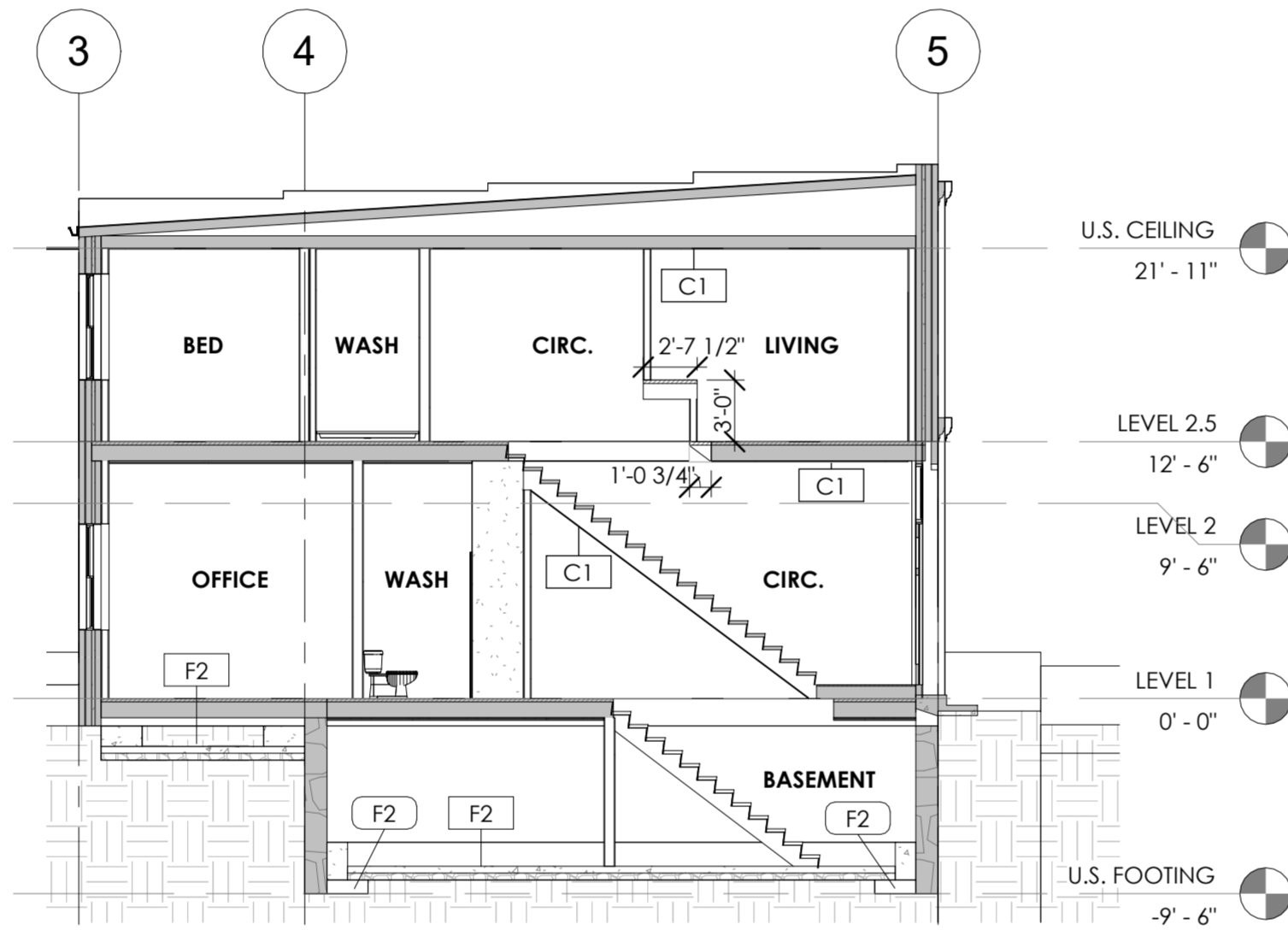
1 SECTION 1-DEMO
1/8" = 1'-0"



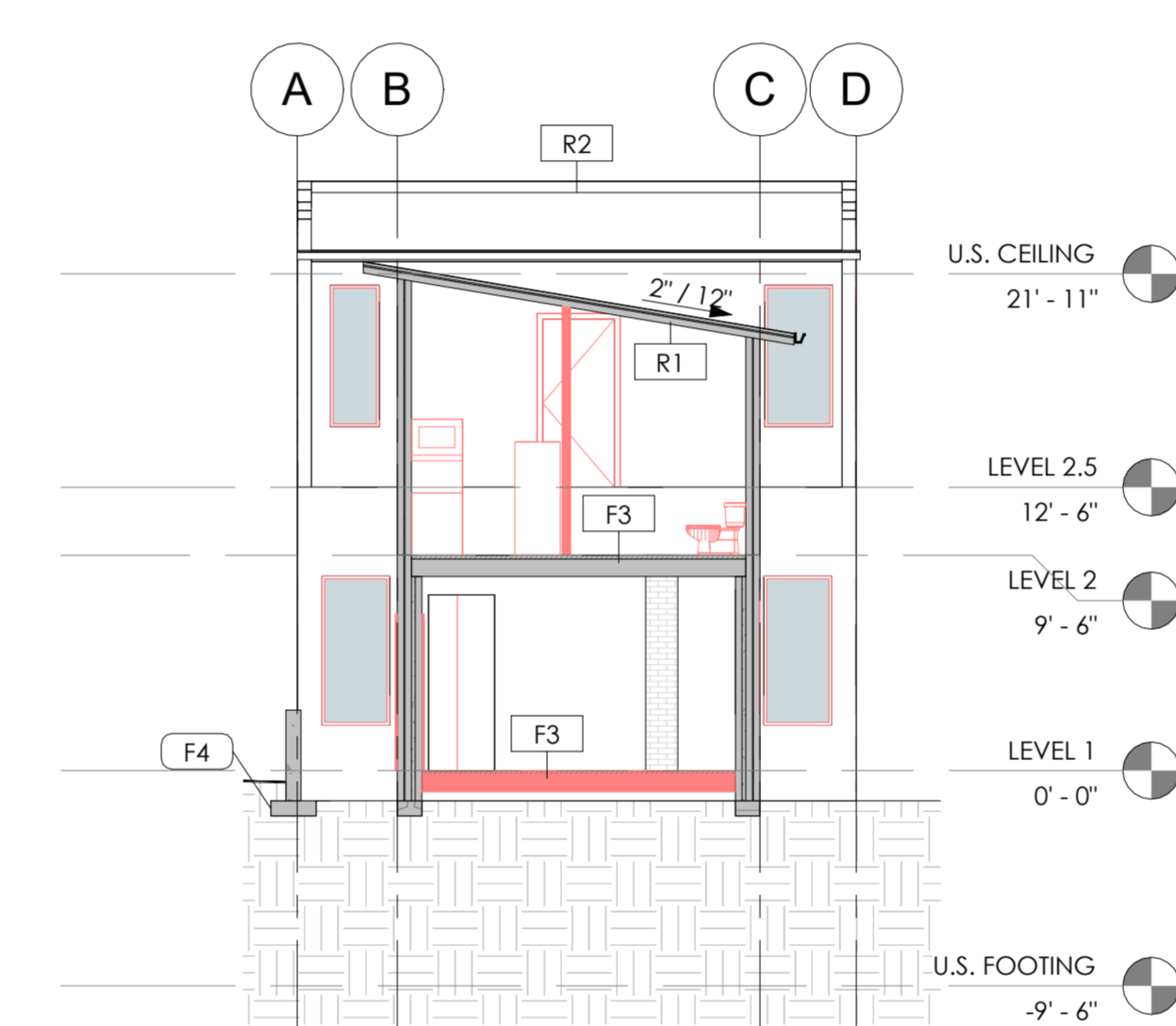
2 SECTION 1-NEW
1/8" = 1'-0"



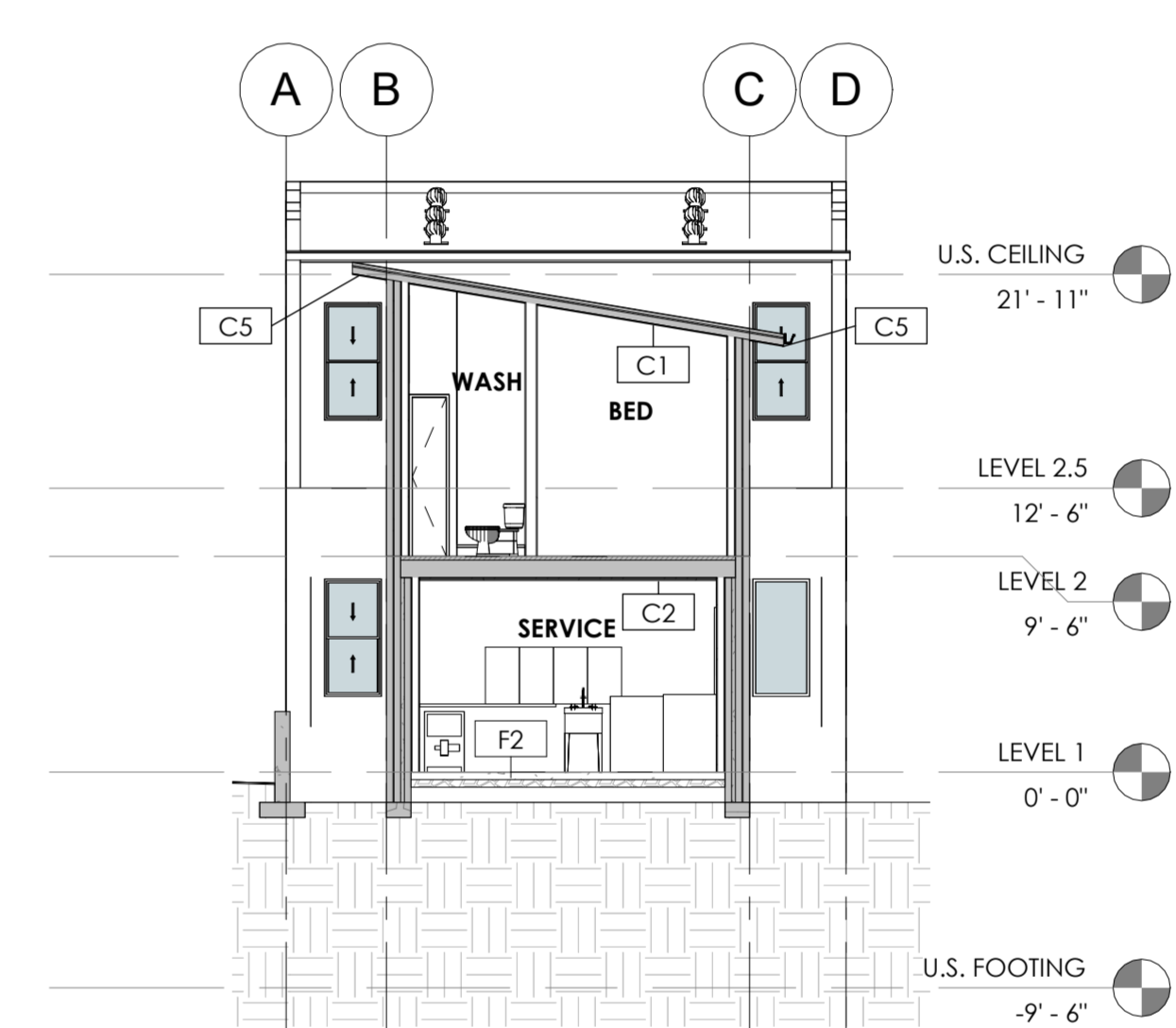
3 SECTION 2-DEMO
1/8" = 1'-0"



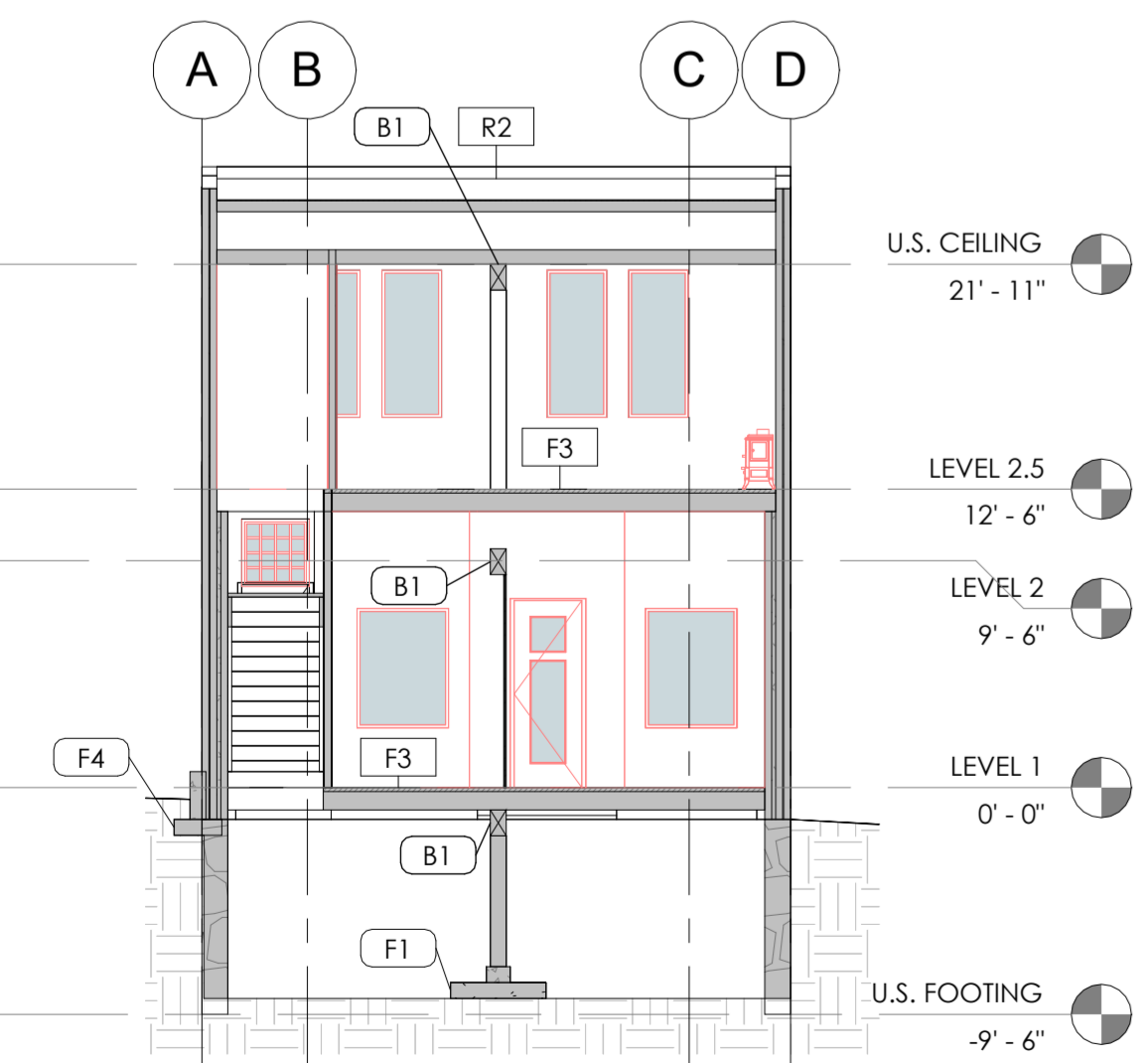
4 SECTION 2-NEW
1/8" = 1'-0"



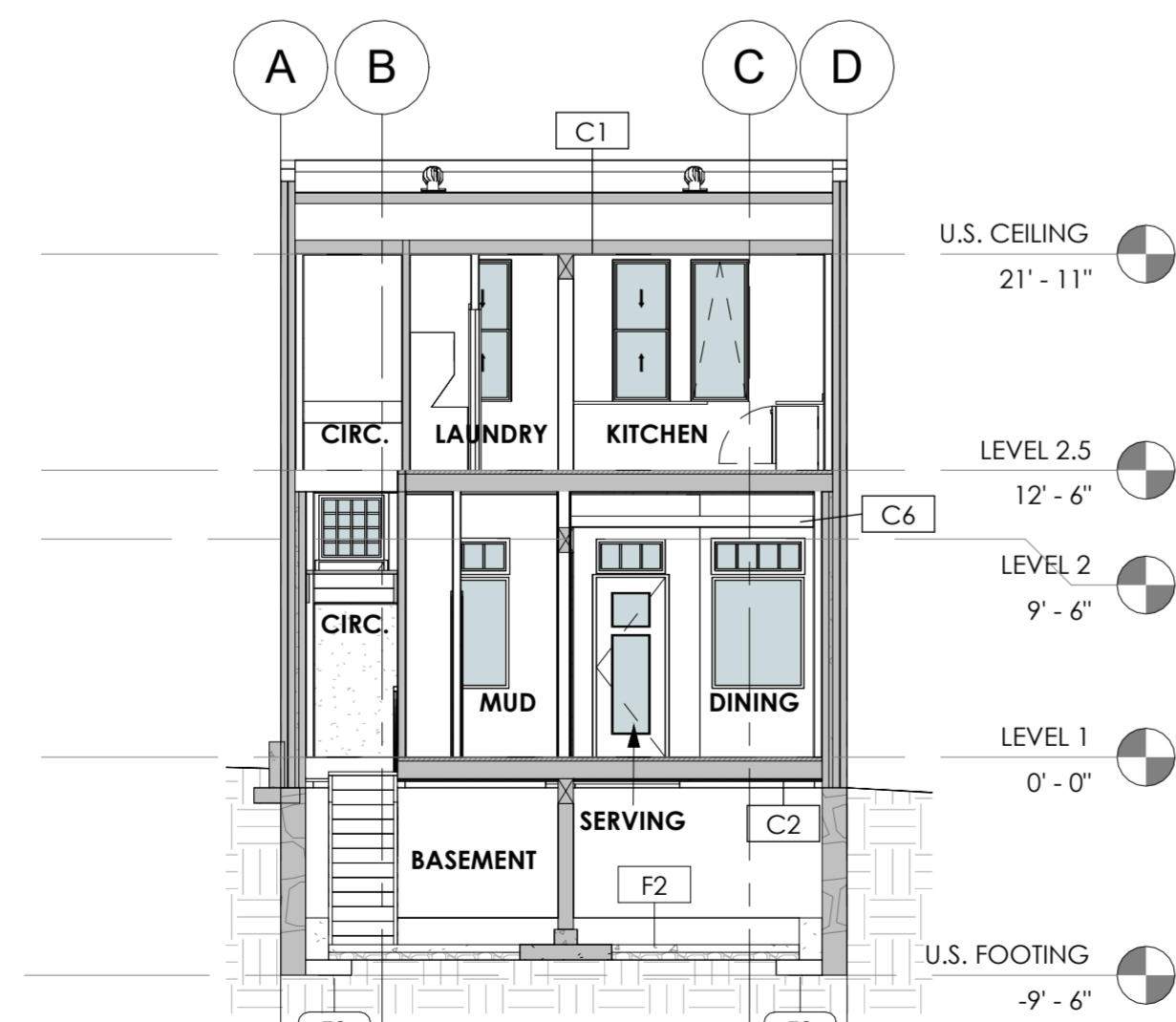
5 SECTION 3-DEMO
1/8" = 1'-0"



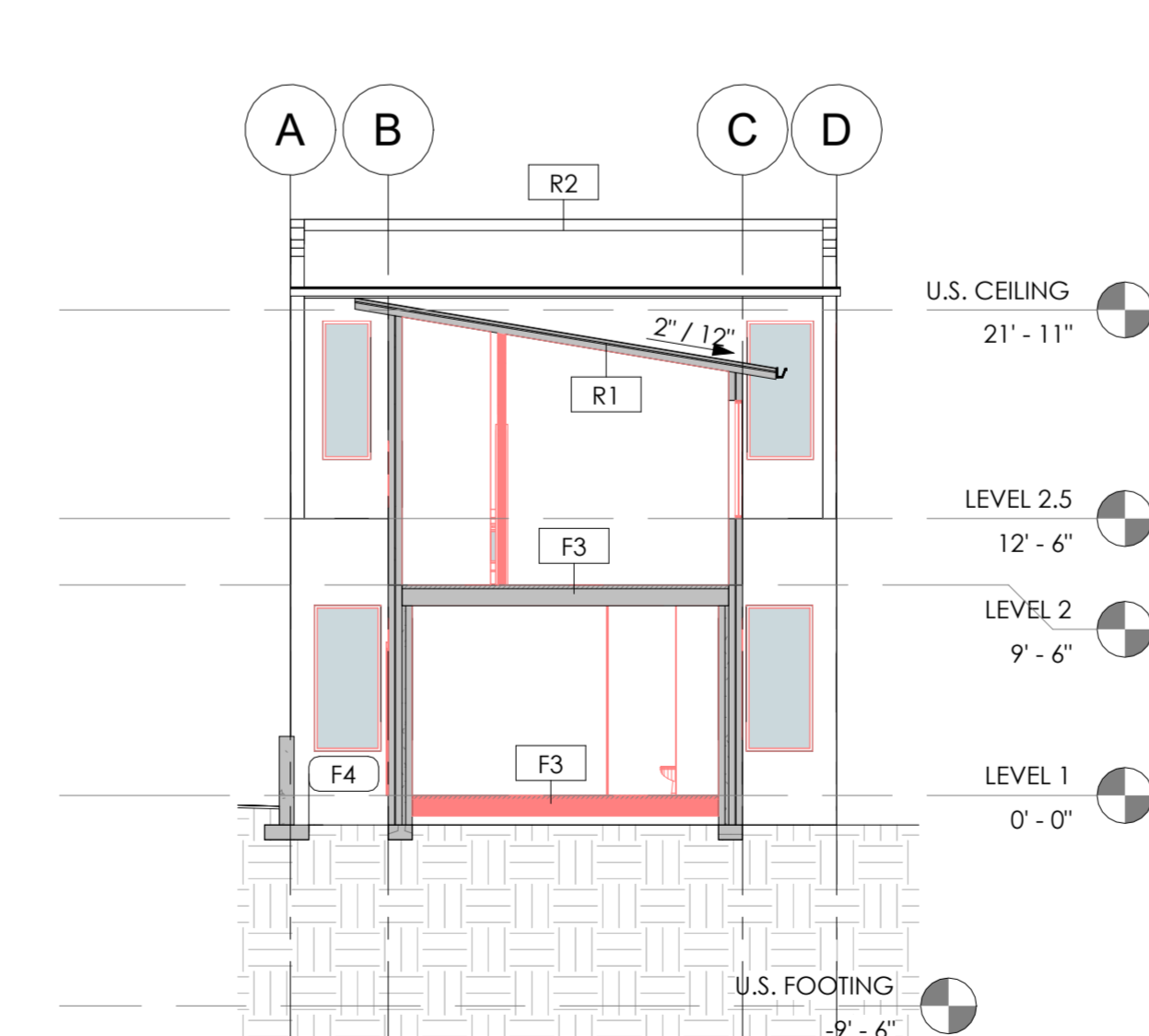
6 SECTION 3-NEW
1/8" = 1'-0"



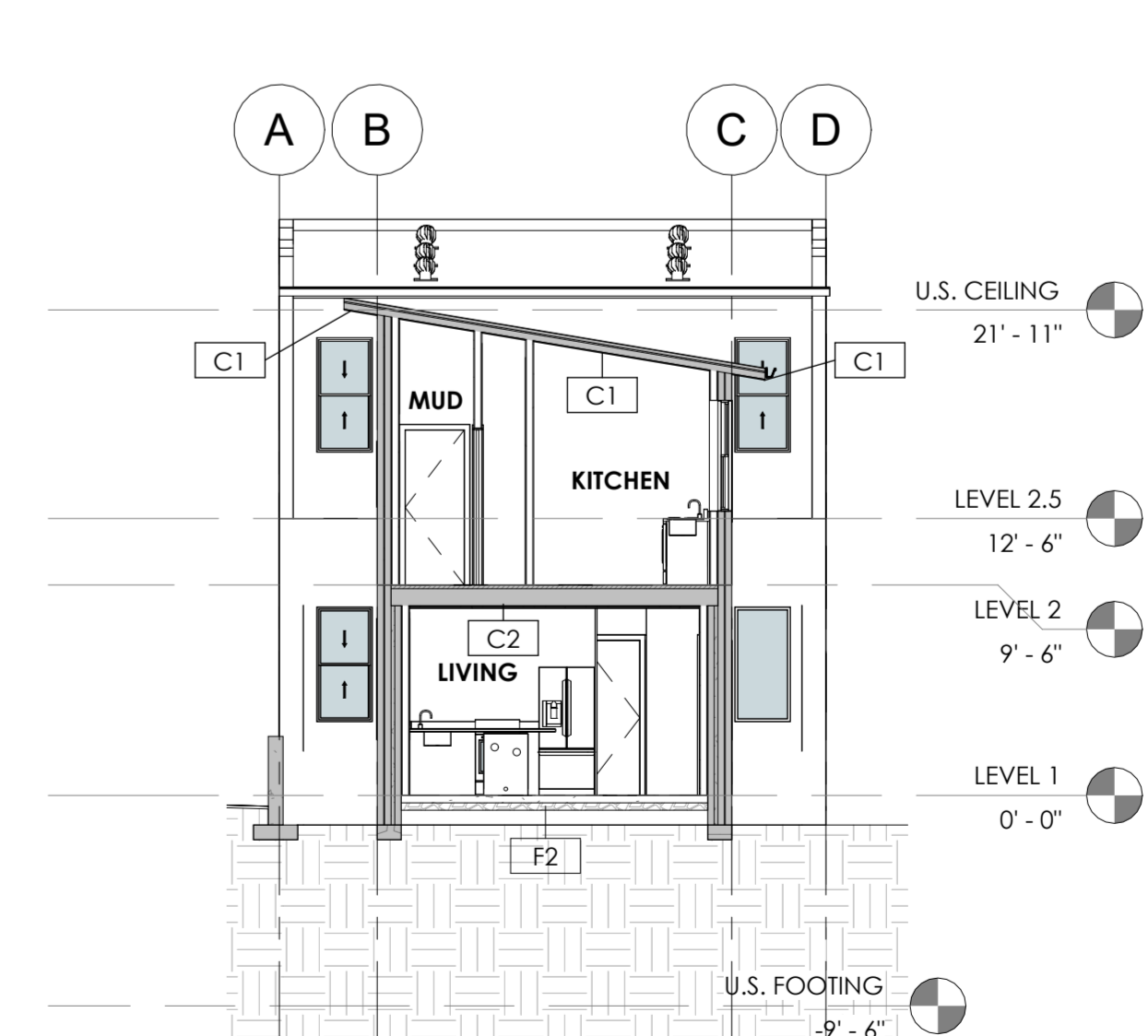
7 SECTION 4-DEMO
1/8" = 1'-0"



8 SECTION 4-NEW
1/8" = 1'-0"



9 SECTION 5-DEMO
1/8" = 1'-0"



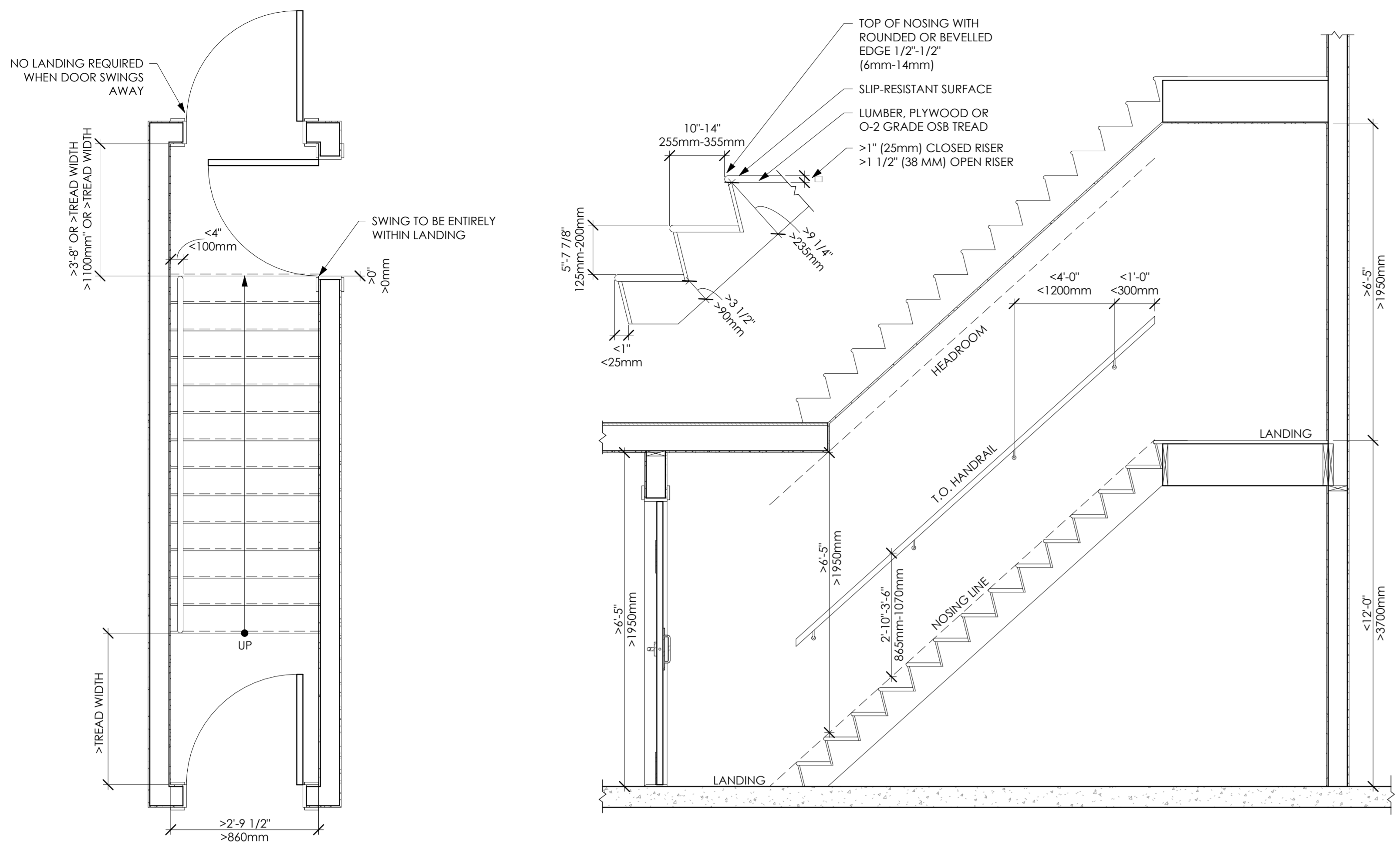
10 SECTION 5-NEW
1/8" = 1'-0"

PROJECT NAME
331 FRONT STREET RENOVATION

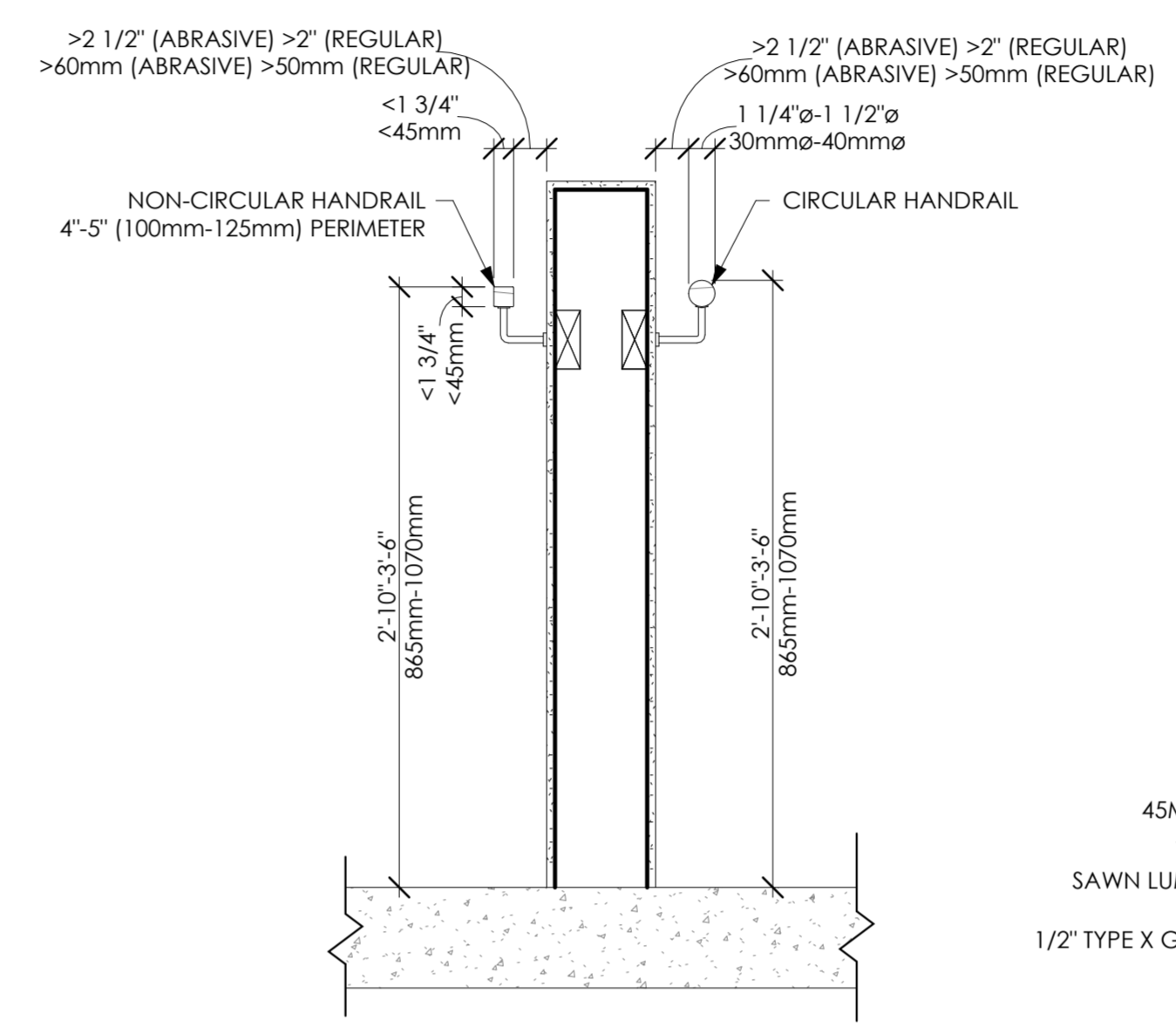
ADDRESS
331 FRONT STREET
KASLO BC
VOG1M0

CLIENT
OWNER

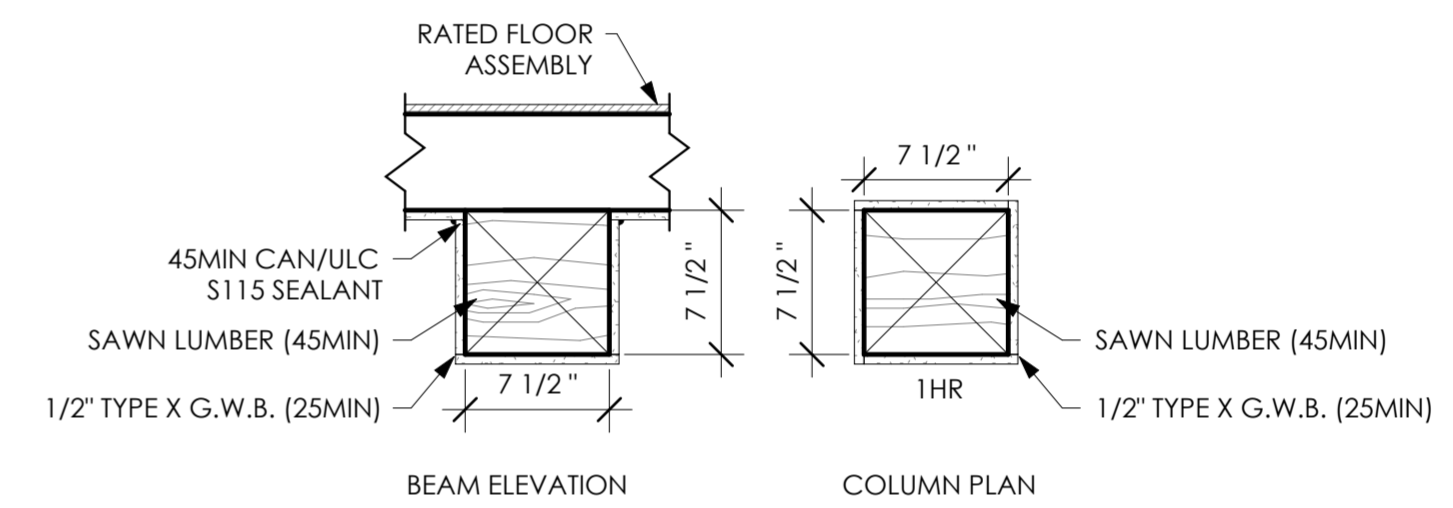
DRAWING NOTES



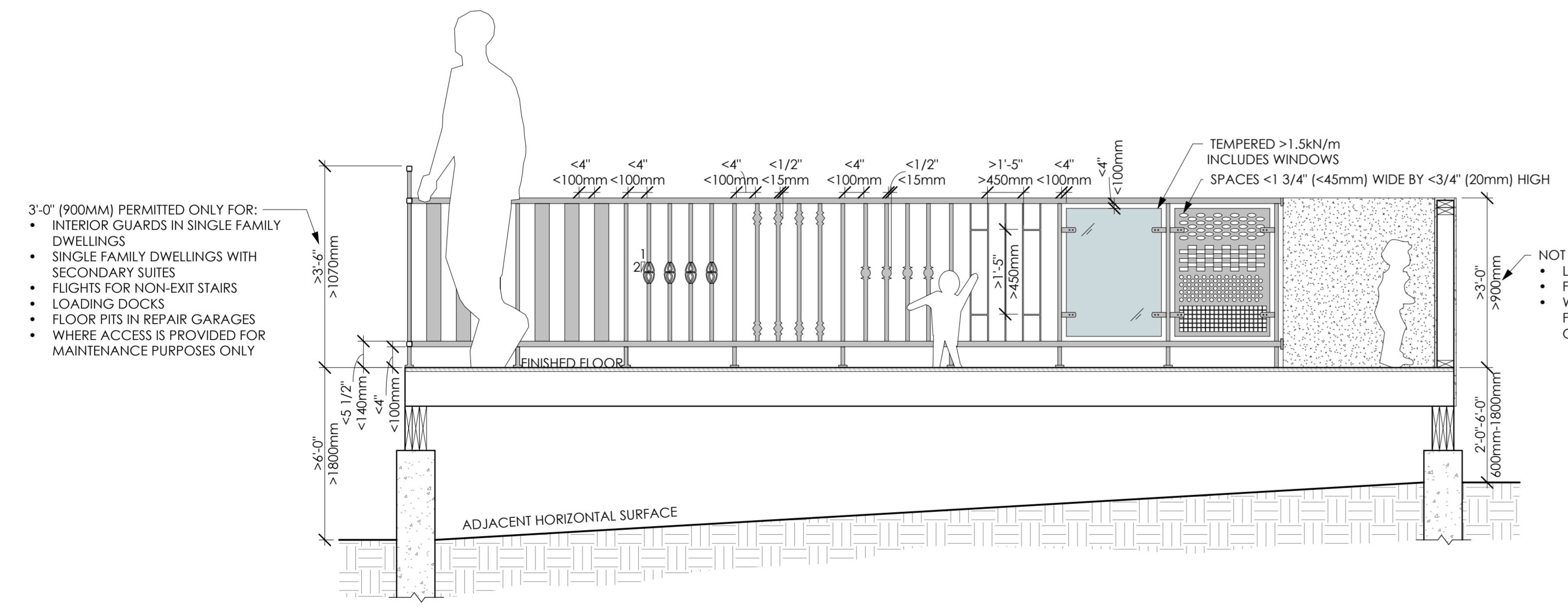
1 STAIRS TYP.
1/2" = 1'-0"



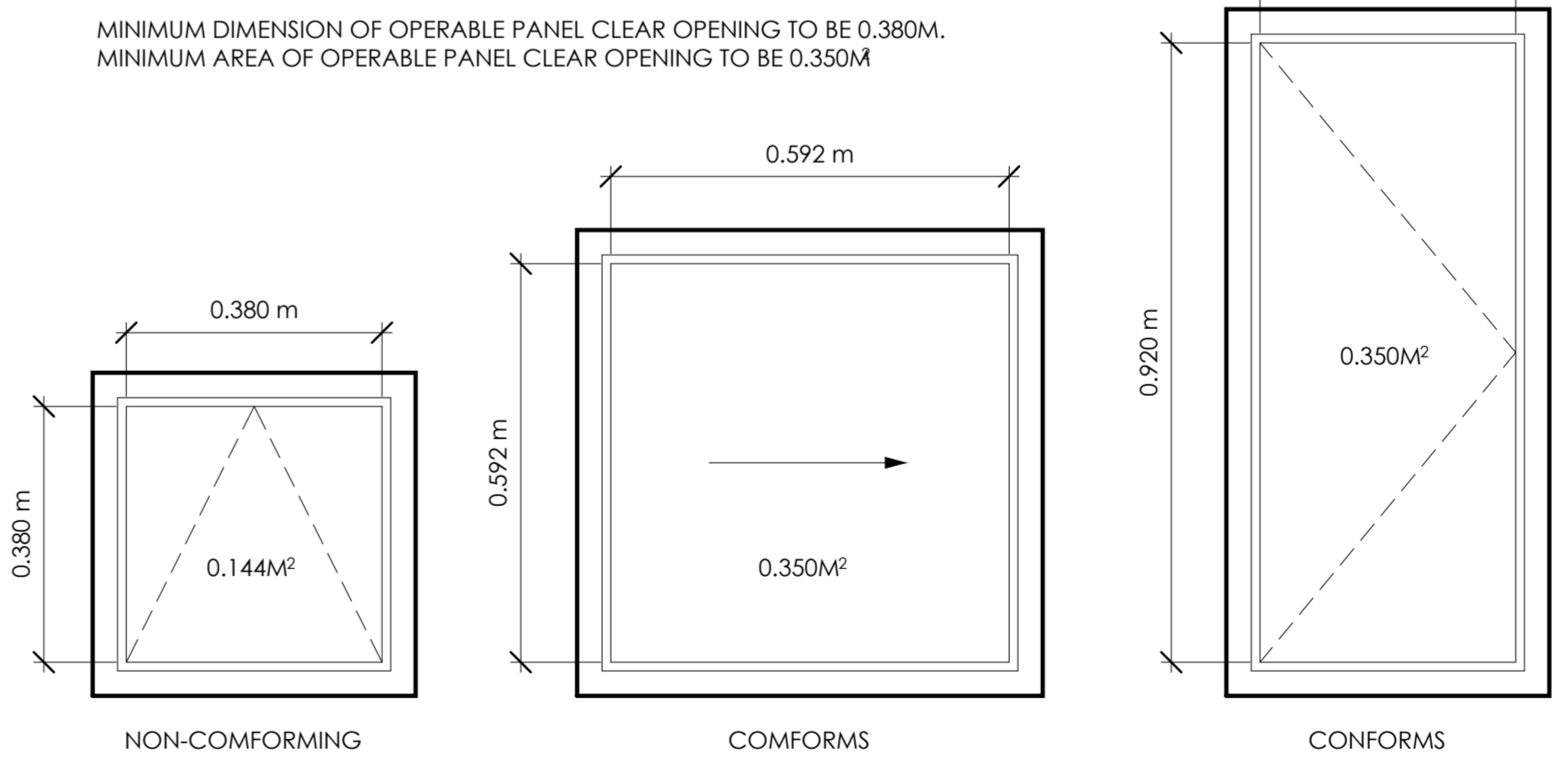
2 HANDRAILS TYP.
1 : 10



3 TIMBER PROTECTION
1 : 10



4 GUARDS TYP.
1 : 20



5 EGRESS WINDOWS
1 : 10

SEAL



USE

NOT FOR CONSTRUCTION

REVISIONS/HISTORY

DATE	NUMBER	DESCRIPTION
2023-12-29	0	DP/BP

SHEET NAME
DETAILS

SHEET NO.
A13

REV. NO.

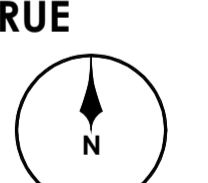
PROJECT NAME
331 FRONT STREET RENOVATION

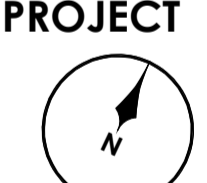
ADDRESS
331 FRONT STREET
KASLO BC
VOG1M0

CLIENT
OWNER

DRAWING NOTES

SEAL

TRUE 

PROJECT 

USE

NOT FOR CONSTRUCTION

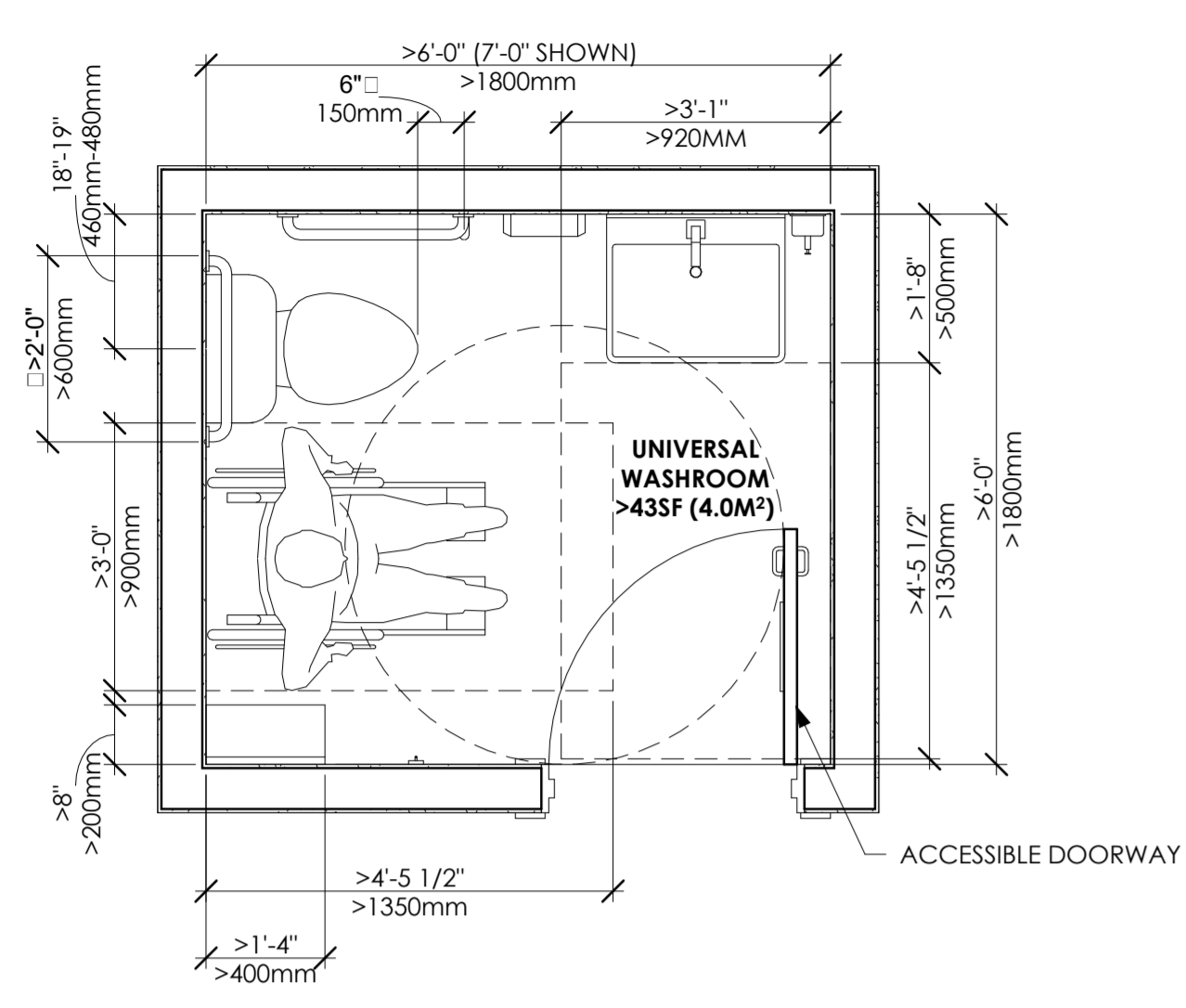
REVISIONS/HISTORY

DATE	NUMBER	DESCRIPTION
2023-12-29	0	DP/BP

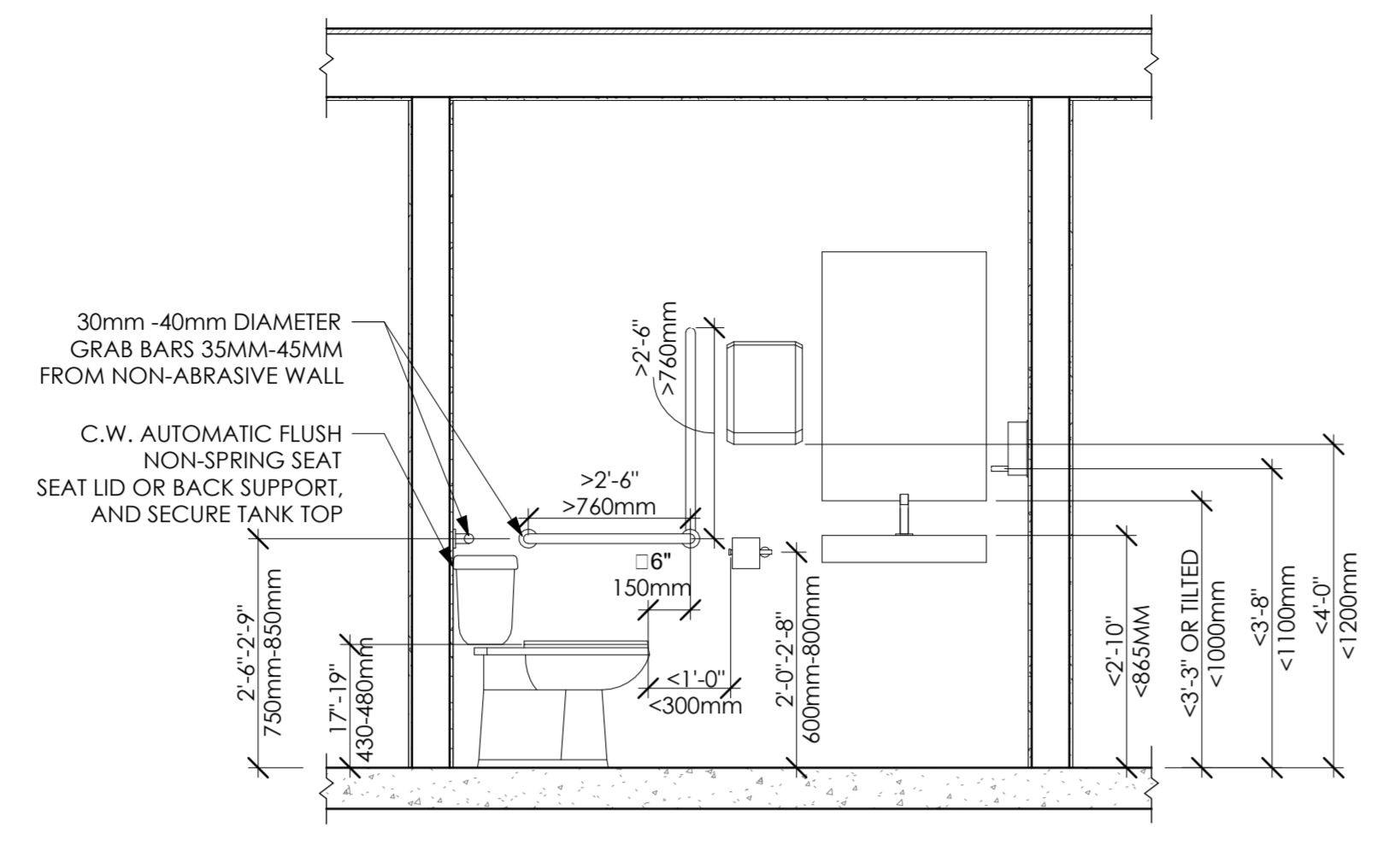
SHEET NAME
ACCESSIBILITY

SHEET NO.
A14

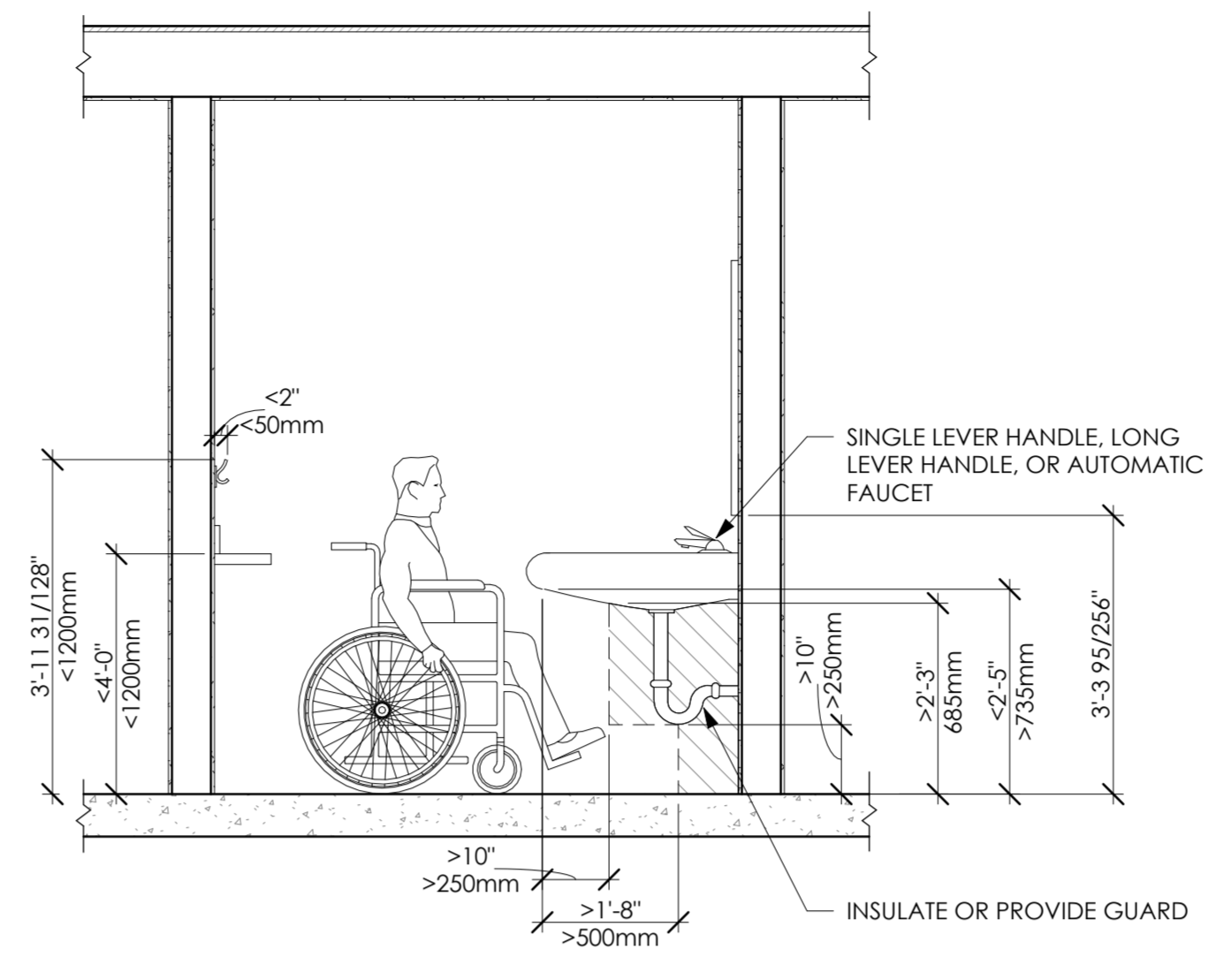
REV. NO.



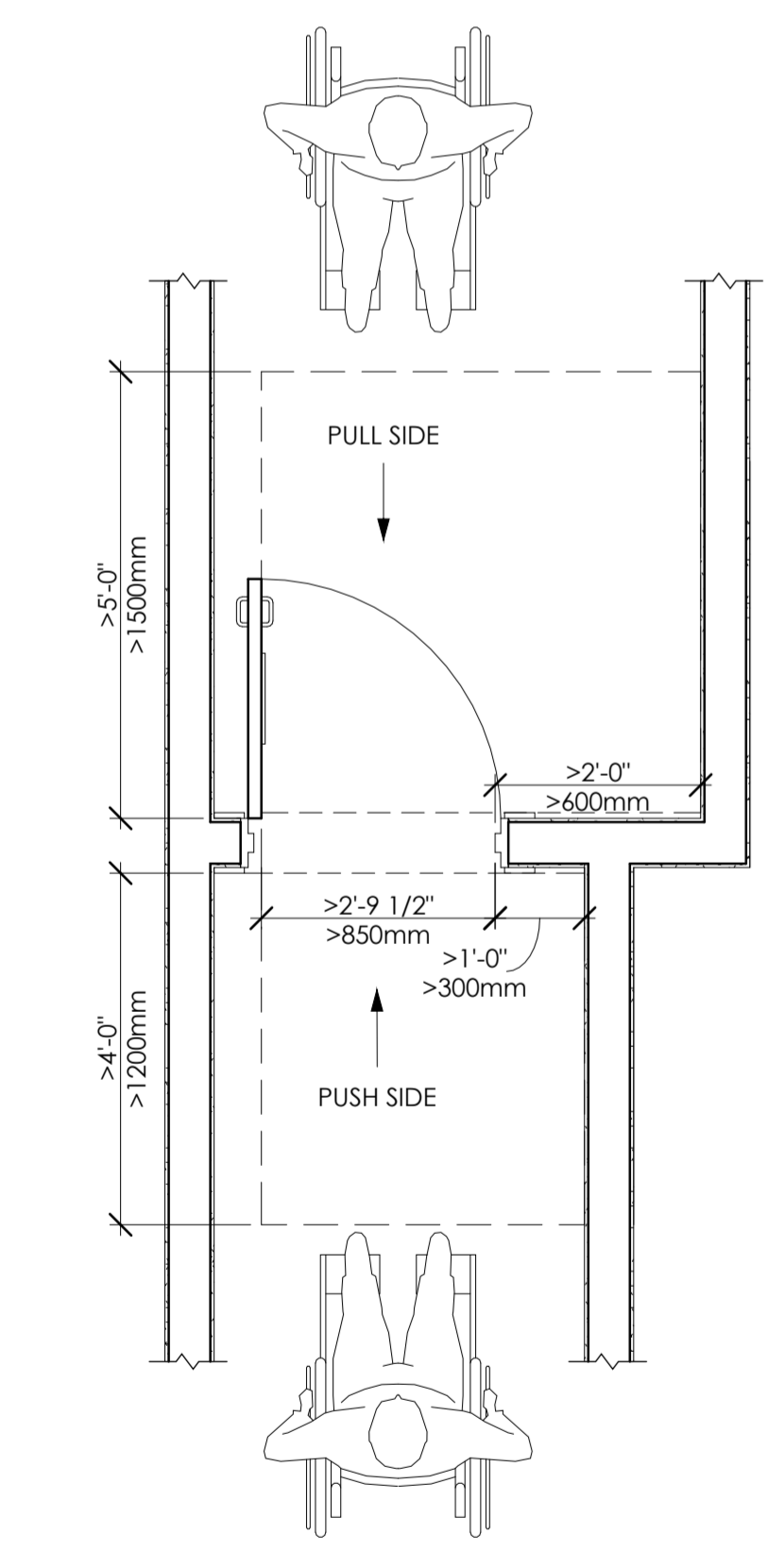
UNIVERSAL WASHROOM
PLAN



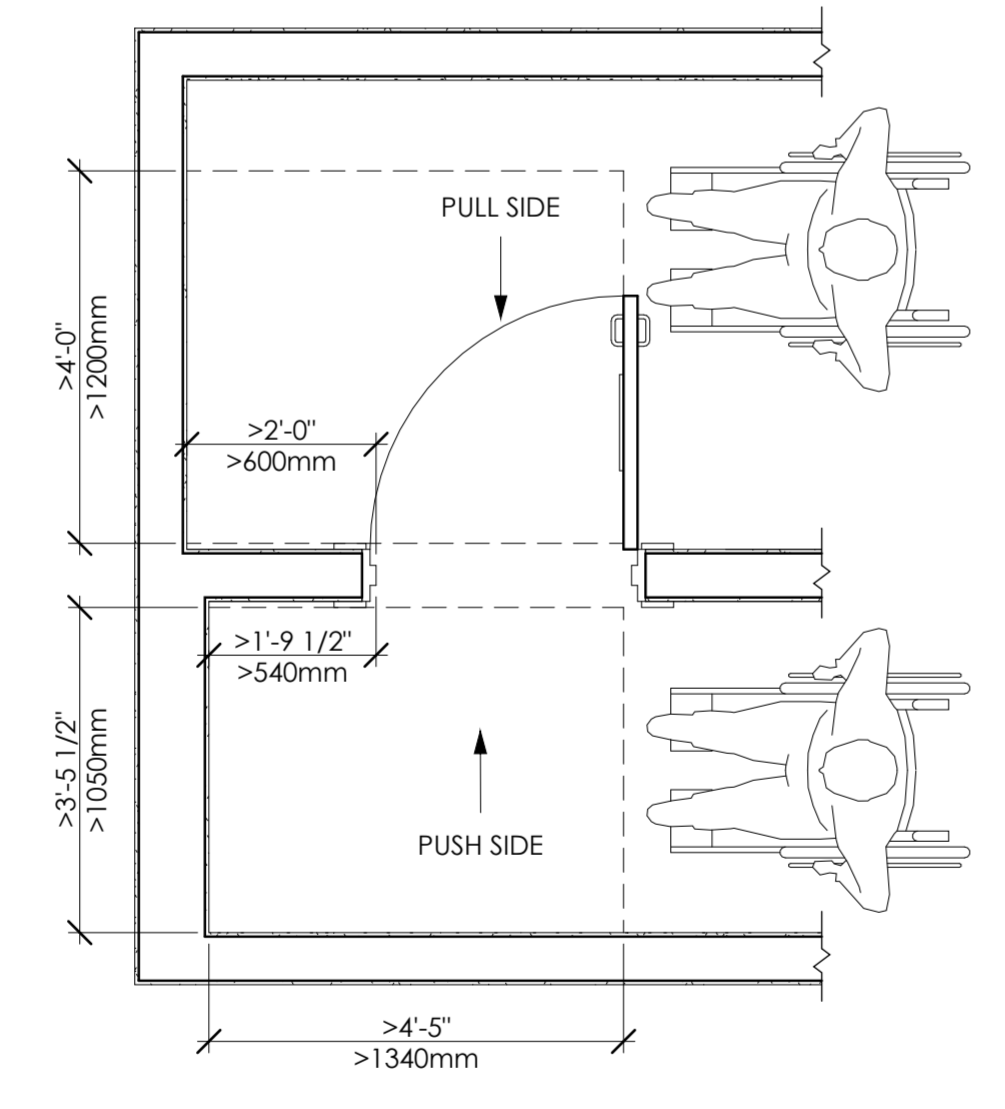
UNIVERSAL WASHROOM
SECTION 1



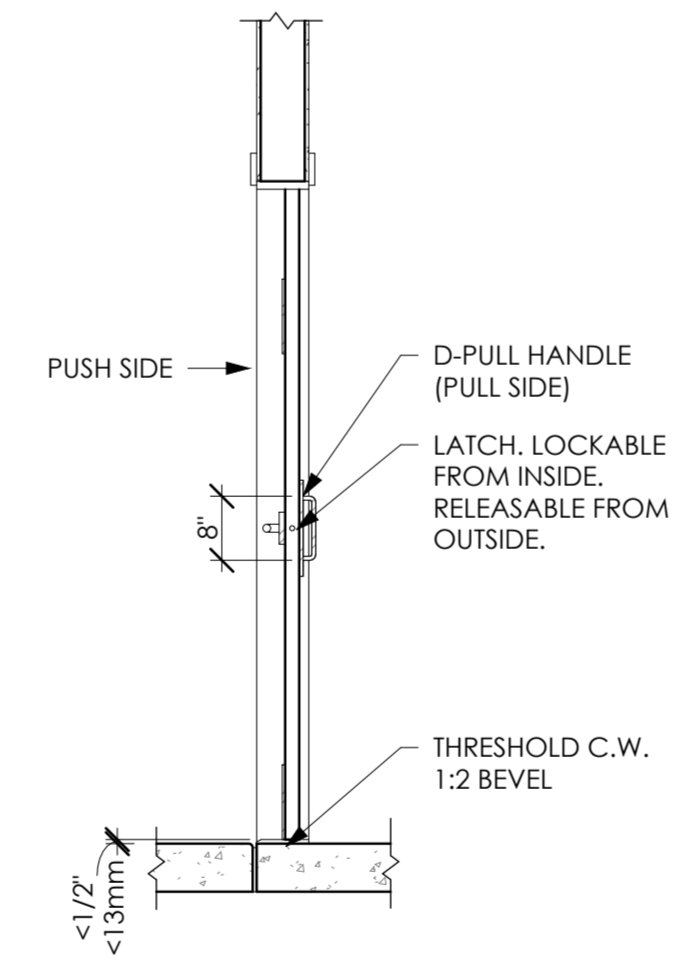
UNIVERSAL WASHROOM
SECTION 2



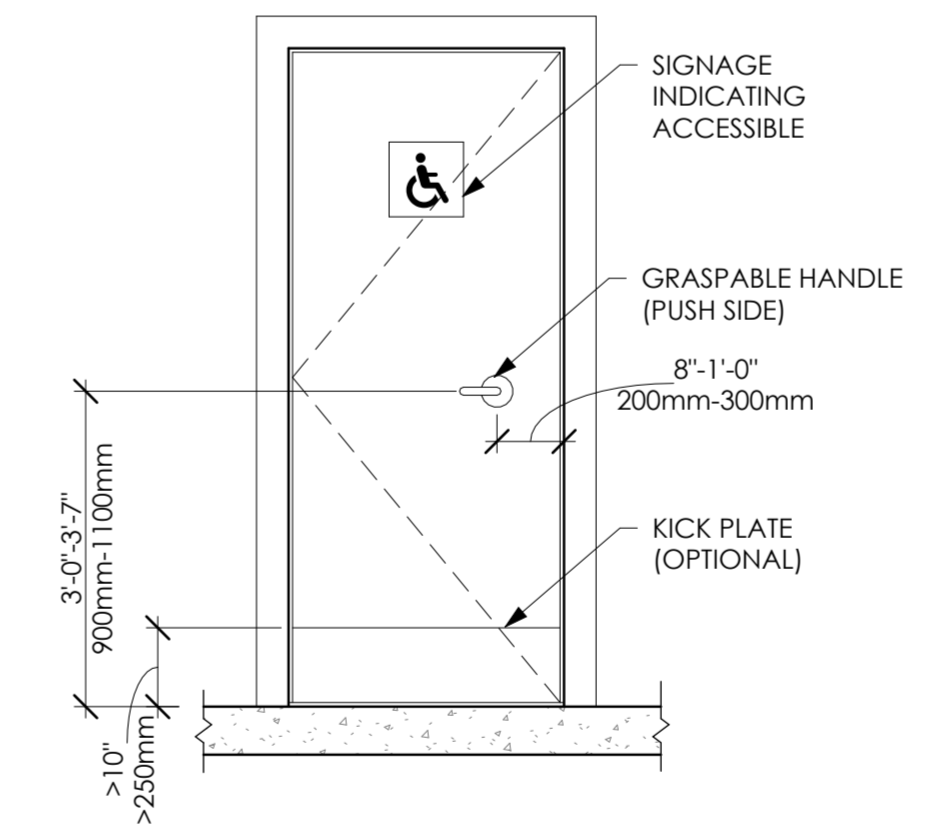
ACCESSIBLE DOORWAY
FRONT APPROACH



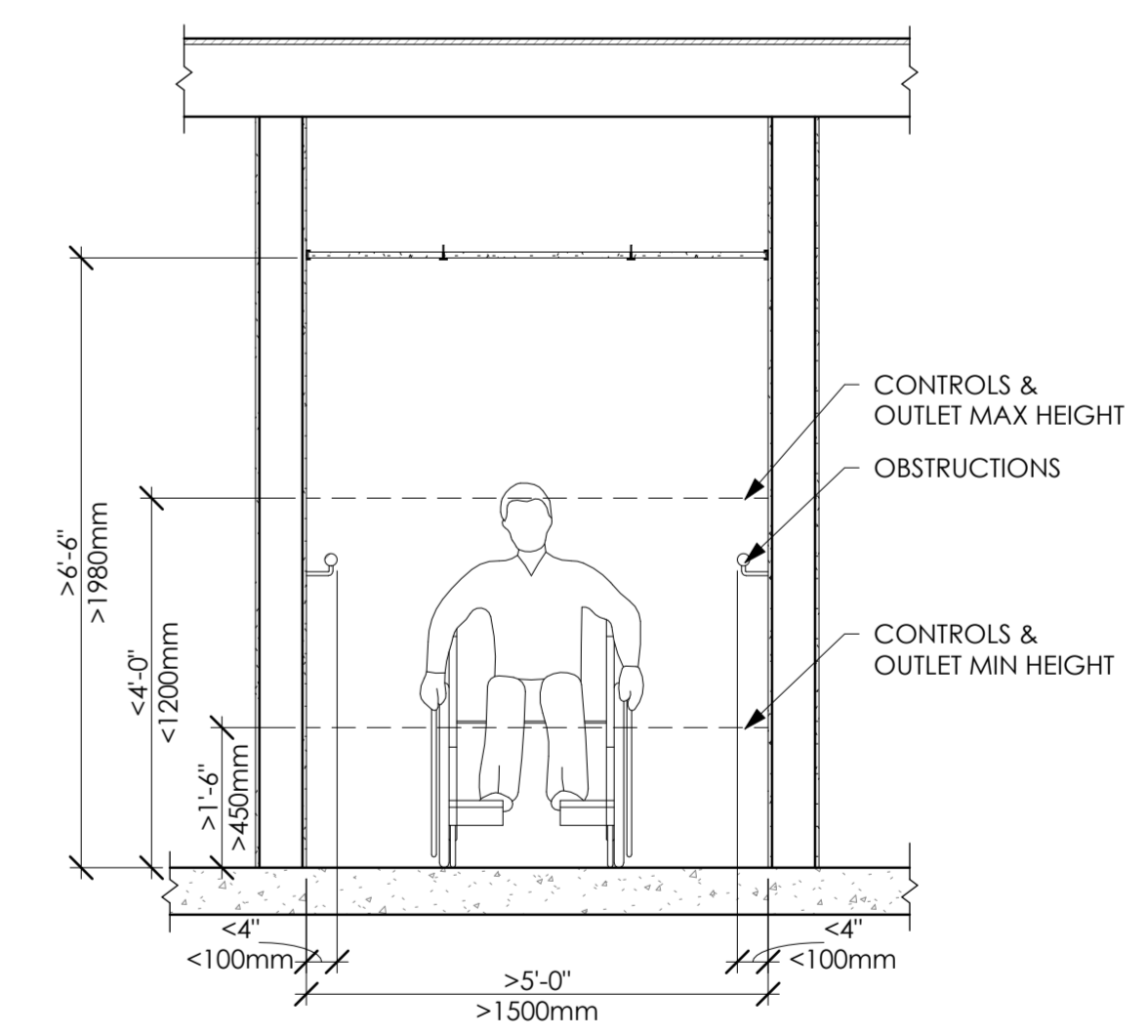
ACCESSIBLE DOORWAY
PERPENDICULAR APPROACH



ACCESSIBLE DOORWAY
SECTION



ACCESSIBLE DOORWAY
PUSH SIDE



ACCESSIBLE
PATH OF TRAVEL

1 ACCESSIBILITY
1/2" = 1'-0"

OVERVIEW

THIS PROJECT INCLUDES AND REQUIRES FIRE SEPARATIONS. A FIRE SEPARATION MEANS A CONSTRUCTION ASSEMBLY THAT ACTS AS A BARRIER AGAINST THE SPREAD OF FIRE. FIRE SEPARATIONS ARE COMPROMISED WHEN ELEMENTS PUNCTURE OR PENETRATE THE FIRE SEPARATION. ELEMENTS PENETRATING A FIRE SEPARATION MUST BE PROTECTED WITH A FIRE STOP. A FIRE STOP MEANS A SYSTEM CONSISTING OF A MATERIAL, COMPONENT AND MEANS OF SUPPORT USED TO FILL GAPS BETWEEN FIRE SEPARATIONS OR BETWEEN FIRE SEPARATIONS AND OTHER ASSEMBLIES, OR USED AROUND ITEMS THAT WHOLLY OR PARTIALLY PENETRATE A FIRE SEPARATION. A FIRE STOP SHALL BE INSTALLED IN CONFORMANCE WITH CERTIFIED TESTING. IT IS UNREALISTIC FOR THE CONSULTANT TO PROVIDE ALL FIRESTOPPING DETAILS FOR THIS PROJECT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR REVIEWING THE DRAWINGS AND/OR EXISTING CONDITIONS AND PROVIDING TESTED FIRESTOPPING CUTSHEETS THAT SATISFY THE CODE. THE CONTRACTOR IS NOT TO PROCEED UNTIL THE FIRESTOPPING DETAIL HAS BEEN APPROVED. TYPICAL FIRESTOPPING DETAILS MAY BE FOUND VIA LINK BELOW:
HYPERLINK "HTTPS://WWW.HILTI.CA/FIRESTOPS"HTTPS://WWW.HILTI.CA/FIRESTOPS SHOULD THE CONTRACTOR BE UNABLE TO PRODUCE THE DETAILS, THE CONTRACTOR SHALL SUPPLY THE CONSULTANT WITH THE FOLLOWING INFORMATION FOR THE CONSULTANT TO PRODUCE: PENETRATING ITEM, BARRIER TYPE, FIRE SEPARATION RATING, MINIMUM ANNULAR SPACE, MAXIMUM ANNULAR SPACE, AND IF THE USE OF SLEEVES ARE VIABLE, THE CONSULTANT MAY REQUIRE ADDITIONAL INFORMATION SUCH AS: THE DESIRED PRODUCT, APPLICATION METHOD, INSULATION TYPE, MAXIMUM PERCENT FULL T-RATING, L-RATING, W-RATING, STC RATING, MOLD AND MILDEW RESISTANCE REQUIREMENTS, AND SEISMIC PERFORMANCE.

ONCE INSTALLED, THE CONTRACTOR IS NOT TO PROCEED UNTIL THE CONSULTANT HAS APPROVED THE INSTALLATION. UPON INSPECTION, CONCEALED FIRESTOPPING SHALL BE UNCONCEALED TO VERIFY CONFORMITY TO ENSURE THE OCCUPANTS SAFETY. CONCEALED, UNDOCUMENTED FIRESTOPPING WILL RESULT IN A FAILED INSPECTION AND SHALL REQUIRE DEMOLITION. THE TYPICAL DETAILS BELOW ARE INCLUDED SOLELY TO INFORM THE CONTRACTOR OF TRADE COORDINATION AND TO HIGHLIGHT SOME, BUT NOT LIMITED TO ALL, TYPICAL DETAILS REQUIRING FIRESTOPPING. CODE EXCERPTS ARE INCLUDED SOLELY TO HIGHLIGHT THE NECESSITY OF THIS REQUIREMENT.

9.10.9.6. PENETRATION OF FIRE SEPARATIONS

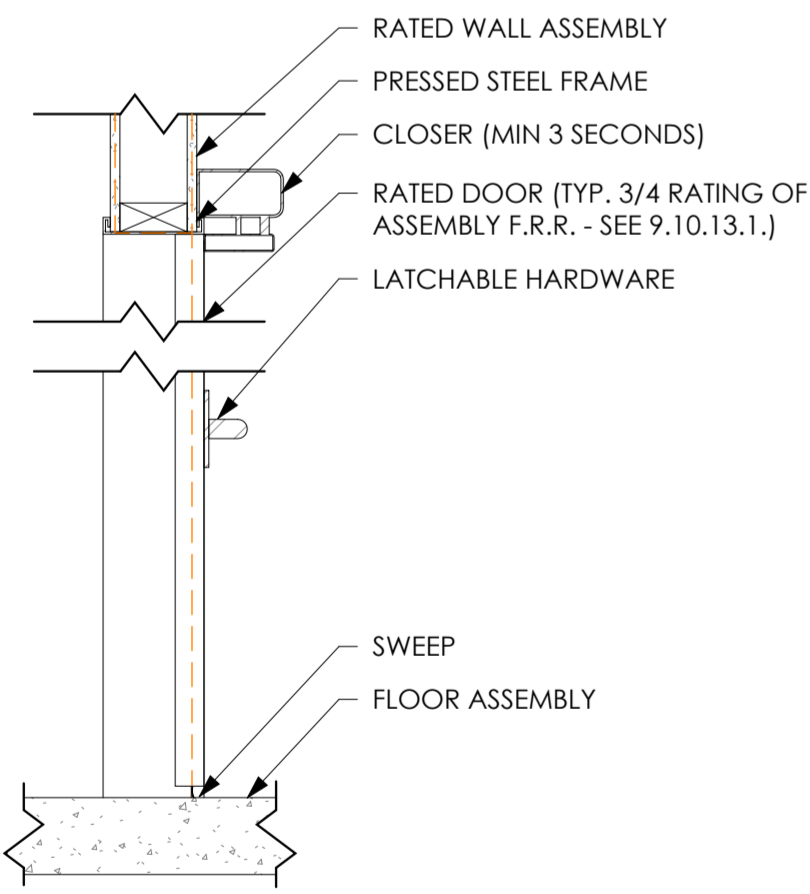
1) PIPING, TUBING, DUCTS, CHIMNEYS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR SERVICE EQUIPMENT THAT PENETRATE A REQUIRED FIRE SEPARATION SHALL BE TIGHTLY FITTED OR FIRE STOPPED TO MAINTAIN THE INTEGRITY OF THE SEPARATION. (SEE NOTE A-9.10.9.6.(1).)

A-9.10.9.6.(1) PENETRATION OF FIRE-RATED ASSEMBLIES BY SERVICE EQUIPMENT. THIS SENTENCE, TOGETHER WITH ARTICLE 3.1.9.1, IS INTENDED TO ENSURE THAT THE INTEGRITY OF FIRE-RATED ASSEMBLIES IS MAINTAINED WHERE THEY ARE PENETRATED BY VARIOUS TYPES OF SERVICE EQUIPMENT. FOR BUILDINGS REGULATED BY THE REQUIREMENTS IN PART 3, FIRE STOP MATERIALS USED TO SEAL OPENINGS AROUND BUILDING SERVICES, SUCH AS PIPES, DUCTS AND ELECTRICAL OUTLET BOXES, MUST MEET A MINIMUM LEVEL OF PERFORMANCE DEMONSTRATED BY STANDARD TEST CRITERIA. THIS IS DIFFERENT FROM THE APPROACH IN PART 9. BECAUSE OF THE TYPE OF CONSTRUCTION NORMALLY USED FOR BUILDINGS REGULATED BY THE REQUIREMENTS IN PART 9, IT IS ASSUMED THAT THIS REQUIREMENT IS SATISFIED BY THE USE OF GENERIC FIRE STOP MATERIALS SUCH AS MINERAL WOOL, GYPSUM PLASTER OR PORTLAND CEMENT MORTAR.

A-3.1.9. PENETRATIONS.

IN THE APPLICATION OF SUBSECTION 3.1.9., A BUILDING SERVICE IS CONSIDERED TO PENETRATE AN ASSEMBLY IF IT PASSES INTO OR THROUGH THE ASSEMBLY. IN SOME SITUATIONS A SERVICE ITEM ENTERS AN ASSEMBLY THROUGH A MEMBRANE AT ONE LOCATION, RUNS WITHIN THE ASSEMBLY, AND THEN LEAVES THE ASSEMBLY THROUGH A MEMBRANE AT ANOTHER LOCATION. THE TERM "MEMBRANE PENETRATION" USUALLY DESIGNATES AN OPENING MADE THROUGH ONE SIDE (WALL, FLOOR OR CEILING MEMBRANE) OF AN ASSEMBLY, WHEREAS THE TERM "THROUGH-PENETRATION" DESIGNATES AN OPENING THAT PASSES THROUGH AN ENTIRE ASSEMBLY. FIRE STOPPING OF MEMBRANE PENETRATIONS INVOLVES INSTALLING A MATERIAL, DEVICE OR CONSTRUCTION TO RESIST FOR A PRESCRIBED TIME PERIOD THE PASSAGE OF FLAME AND HEAT THROUGH OPENINGS IN A PROTECTIVE MEMBRANE CAUSED BY CABLES, CABLE TRAYS, CONDUIT, TUBING, PIPES OR SIMILAR ITEMS. FIRE STOPPING OF A THROUGH-PENETRATION INVOLVES INSTALLING AN ASSEMBLY OF SPECIFIC MATERIALS OR PRODUCTS THAT ARE DESIGNED, TESTED AND FIRE-RESISTANCE RATED TO RESIST FOR A PRESCRIBED PERIOD OF TIME THE SPREAD OF FIRE THROUGH PENETRATIONS. PRODUCTS FOR FIRE STOPPING WITHIN A BARRIER ARE REQUIRED TO ADDRESS MOVEMENT OF THE ASSEMBLY AND TO CONTROL SMOKE SPREAD; AS SUCH, THE FLEXIBILITY OF THE MATERIAL USED AT THE FLEXIBLE JOINTS AS WELL AS THE NATURE OF THE ASSEMBLY AND ITS POTENTIAL MOVEMENT MUST BE TAKEN INTO CONSIDERATION

DOORS



9.10.13.1. CLOSURES

1) EXCEPT AS PROVIDED IN ARTICLE 9.10.13.2., OPENINGS IN REQUIRED FIRE SEPARATIONS SHALL BE PROTECTED WITH A CLOSURE CONFORMING TO TABLE 9.10.13.1. AND SHALL BE INSTALLED IN CONFORMANCE WITH CHAPTERS 2 TO 14 OF NFPA 80, "FIRE DOORS AND OTHER OPENING PROTECTIVES," UNLESS OTHERWISE SPECIFIED HEREIN. (SEE ALSO ARTICLE 9.10.3.1.)

9.10.13.2. SOLID CORE WOOD DOOR AS A CLOSURE

1) A 45 MM THICK SOLID CORE WOOD DOOR IS PERMITTED TO BE USED WHERE A MINIMUM FIRE-PROTECTION RATING OF 20 MIN IS PERMITTED OR BETWEEN A PUBLIC CORRIDOR AND A SUITE PROVIDED THAT THE DOOR CONFORMS TO CAN/ULC-S113, "WOOD CORE DOORS MEETING THE PERFORMANCE REQUIRED BY CAN/ULC-S104 FOR TWENTY MINUTE FIRE RATED CLOSURE ASSEMBLIES;" (SEE NOTE A-9.10.13.2.(1).)

2) DOORS DESCRIBED IN SENTENCE (1) SHALL HAVE NOT MORE THAN A 6 MM CLEARANCE BENEATH AND NOT MORE THAN 3 MM AT THE SIDES AND TOP.

9.10.13.6. STEEL DOOR FRAMES

1) STEEL DOOR FRAMES FORMING PART OF A CLOSURE IN A FIRE SEPARATION, INCLUDING ANCHORAGE REQUIREMENTS, SHALL CONFORM TO CAN/ULC-S105, "FIRE DOOR FRAMES MEETING THE PERFORMANCE REQUIRED BY CAN/ULC-S104;"

9.10.13.16. DOOR STOPS

1) WHERE A DOOR IS INSTALLED SO THAT IT MAY DAMAGE THE INTEGRITY OF A FIRE SEPARATION IF ITS SWINGS IS UNRESTRICTED, DOOR STOPS SHALL BE INSTALLED TO PREVENT SUCH DAMAGE

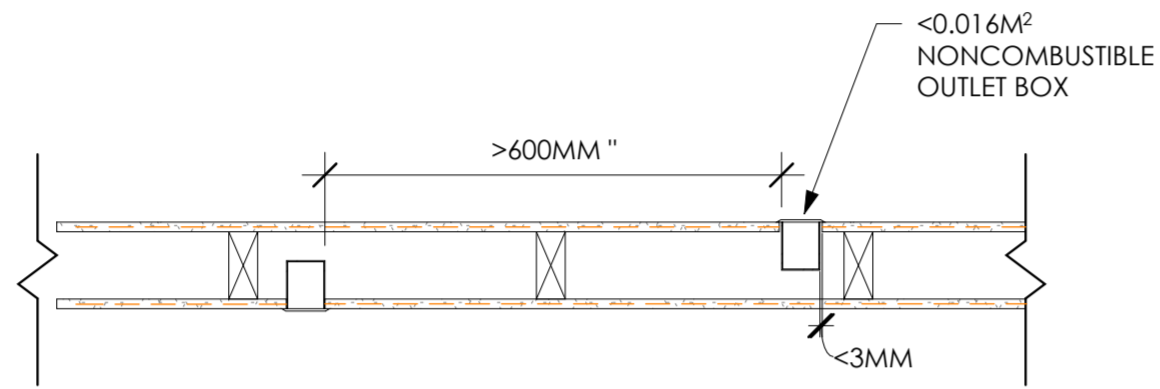
OUTLET BOXES

*OUTLET BOXES INCLUDE, BUT ARE NOT LIMITED TO, ELECTRICAL BOXES, JUNCTION BOXES, HIGH AND LOW VOLTAGE OUTLETS, SWITCHES, ENCLOSURES FOR ELECTRICAL EQUIPMENT, LAUNDRY BOXES, AND SHOWER DIVERTERS.

9.10.5.1. PERMITTED OPENINGS IN WALL AND CEILING MEMBRANES

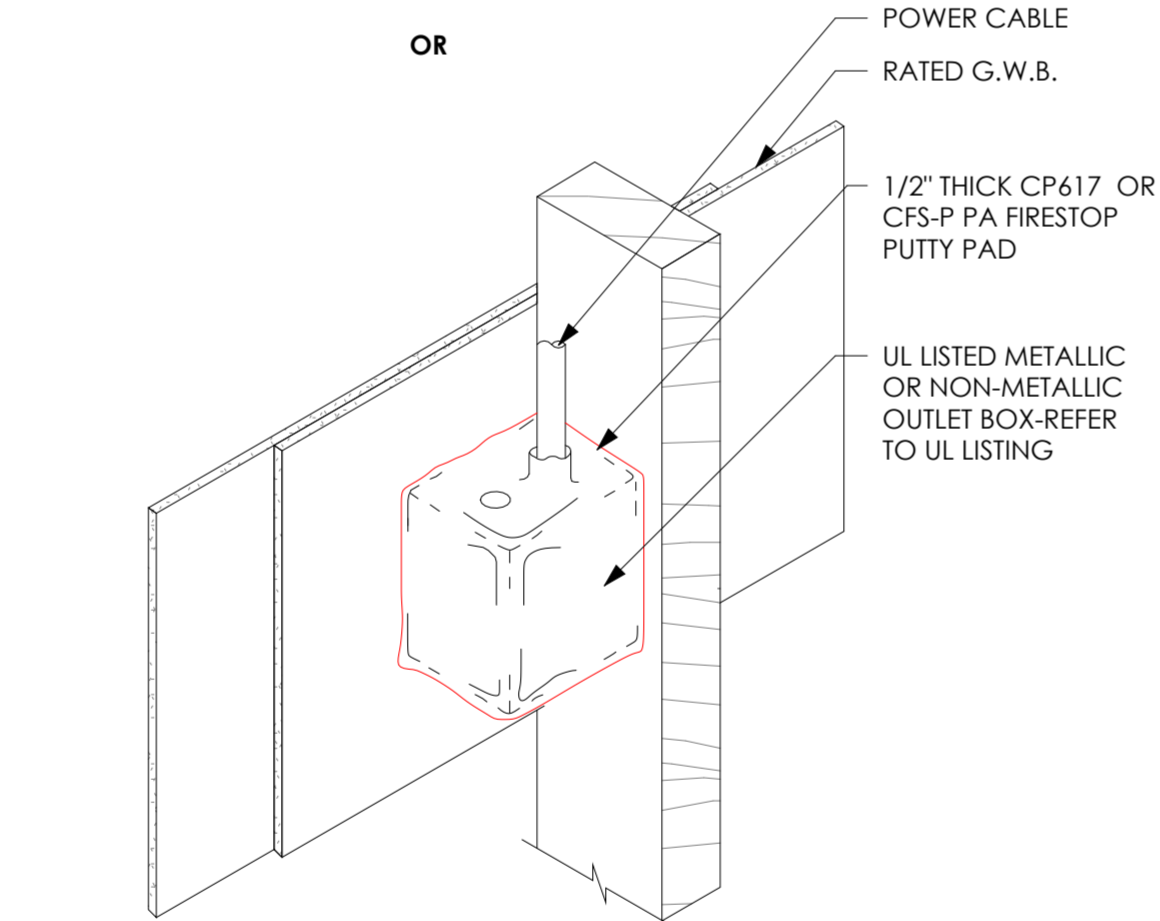
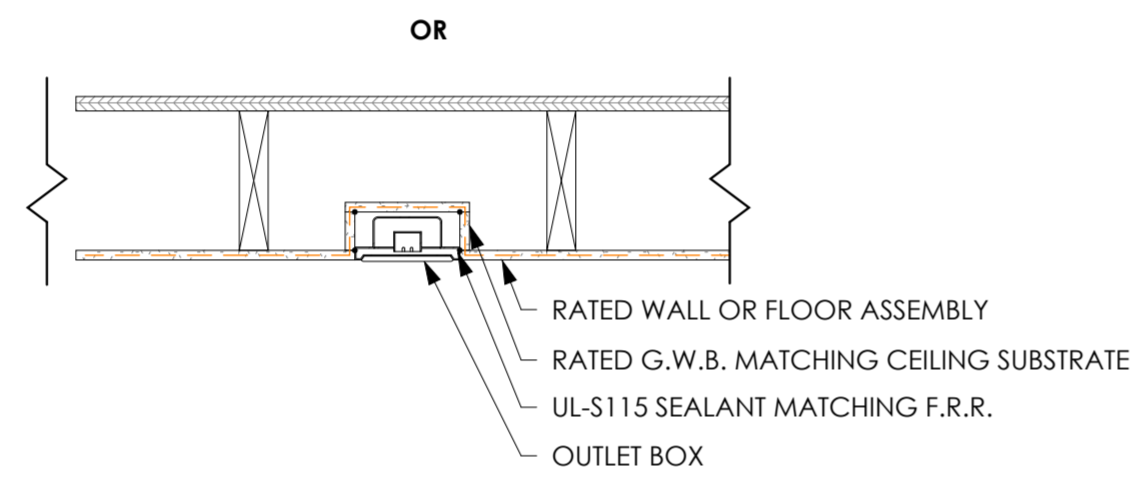
2) A WALL OR CEILING MEMBRANE FORMING PART OF AN ASSEMBLY REQUIRED TO HAVE A FIRE-RESISTANCE RATING IS PERMITTED TO BE PIERCED BY OPENINGS FOR ELECTRICAL AND SIMILAR SERVICE OUTLET BOXES PROVIDED SUCH OUTLET BOXES ARE TIGHTLY FITTED.

3) WHERE BOXES REFERRED TO IN SENTENCE (2) ARE LOCATED ON BOTH SIDES OF WALLS REQUIRED TO PROVIDE A FIRE-RESISTANCE RATING, THEY SHALL BE OFFSET WHERE NECESSARY TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION.



9.10.9.6. PENETRATION OF FIRE SEPARATIONS

8) COMBUSTIBLE OUTLET BOXES ARE PERMITTED IN AN ASSEMBLY REQUIRED TO HAVE A FIRE-RESISTANCE RATING WITHOUT BEING INCORPORATED IN THE ASSEMBLY AT THE TIME OF TESTING AS REQUIRED IN SENTENCE (3). PROVIDED THE OPENING THROUGH THE MEMBRANE INTO THE BOX DOES NOT EXCEED 160 CM².



DUCTS

9.10.9.6. PENETRATION OF FIRE SEPARATIONS

13) FIRE DAMPERS ARE PERMITTED TO PENETRATE A FIRE SEPARATION OR A MEMBRANE FORMING PART OF AN ASSEMBLY REQUIRED TO HAVE A FIRE-RESISTANCE RATING WITHOUT HAVING TO MEET THE FIRE STOP REQUIREMENTS OF SENTENCE (1). PROVIDED THE FIRE DAMPER IS:
A) INSTALLED IN CONFORMANCE WITH NFPA 80, "FIRE DOORS AND OTHER OPENING PROTECTIVES," OR
B) SPECIFICALLY DESIGNED WITH A FIRE STOP.

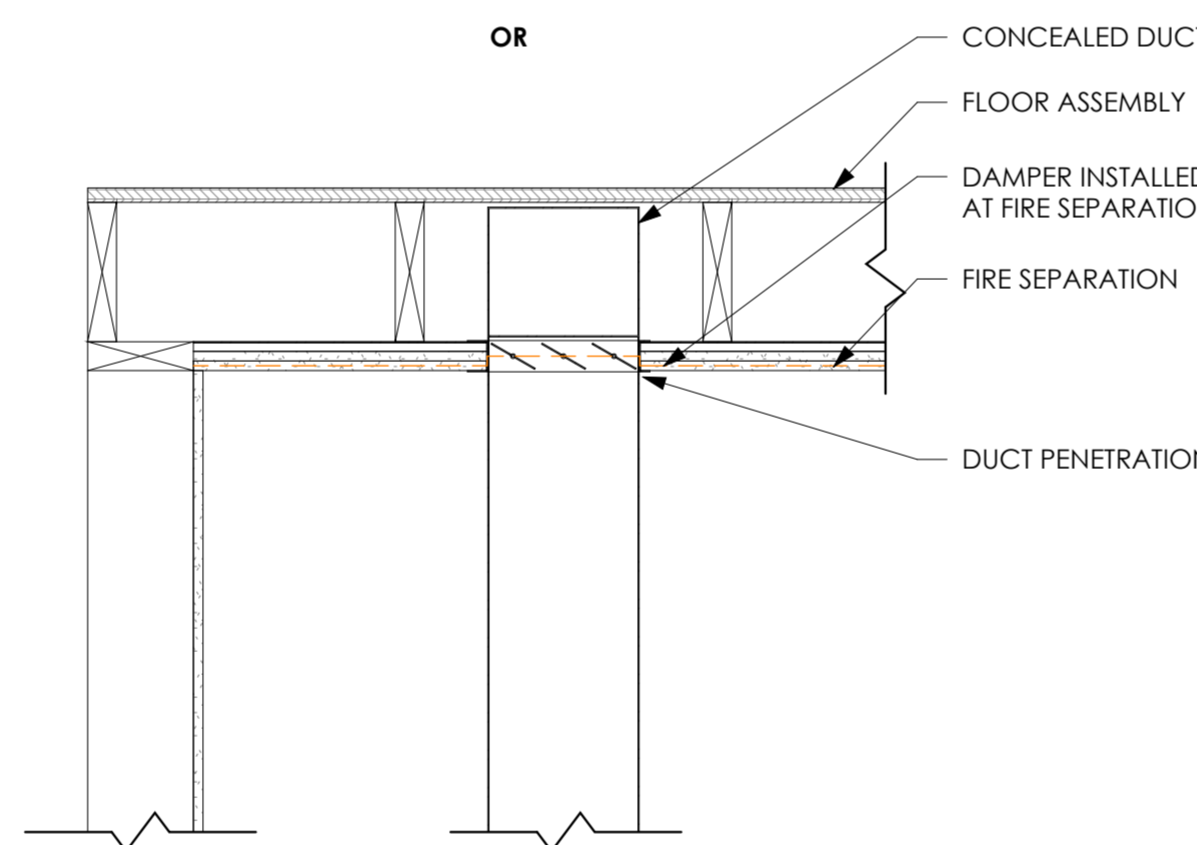
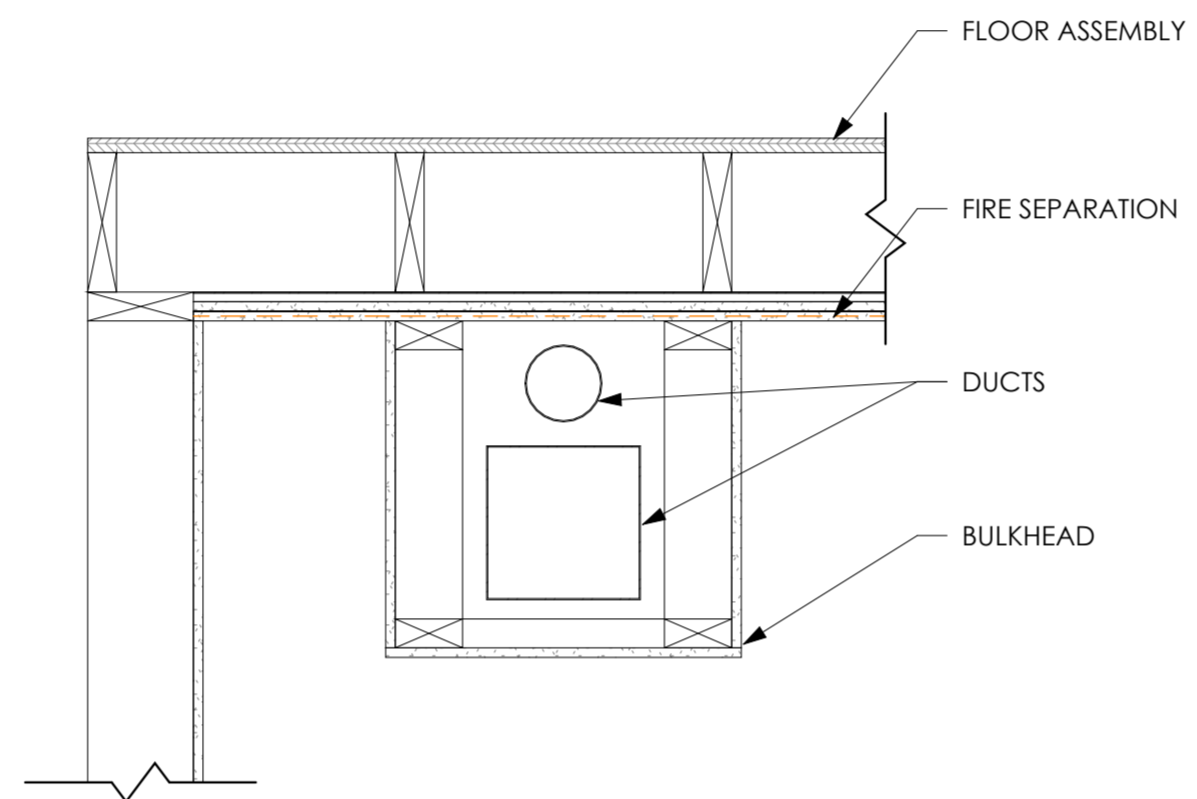
9.10.13.13. FIRE DAMPERS

1) EXCEPT AS PERMITTED BY SENTENCES (2) TO (5) AND SENTENCE 9.10.5.1.(4), A DUCT THAT PENETRATES AN ASSEMBLY REQUIRED TO BE A FIRE SEPARATION WITH A FIRE-RESISTANCE RATING SHALL BE EQUIPPED WITH A FIRE DAMPER IN CONFORMANCE WITH ARTICLES 3.1.8.4. AND 3.1.8.10.

2) A FIRE DAMPER IS NOT REQUIRED WHERE A NONCOMBUSTIBLE BRANCH DUCT PIERCES A REQUIRED FIRE SEPARATION PROVIDED THE DUCT:
A) HAS A MELTING POINT NOT BELOW 760°C,
B) HAS A CROSS-SECTIONAL AREA LESS THAN 130 CM², AND
C) SUPPLIES ONLY AIR-CONDITIONING UNITS OR COMBINED AIR-CONDITIONING AND HEATING UNITS DISCHARGING AIR AT NOT MORE THAN 1.2 M ABOVE THE FLOOR.

3) A FIRE DAMPER IS NOT REQUIRED WHERE A NONCOMBUSTIBLE BRANCH DUCT PIERCES A REQUIRED FIRE SEPARATION AROUND AN EXHAUST DUCT RISER IN WHICH THE AIRFLOW IS UPWARD PROVIDED:
A) THE MELTING POINT OF THE BRANCH DUCT IS NOT BELOW 760°C,
B) THE BRANCH DUCT IS CARRIED UP INSIDE THE RISER NOT LESS THAN 500 MM, AND
C) THE EXHAUST DUCT IS UNDER NEGATIVE PRESSURE AS DESCRIBED IN ARTICLE 9.10.9.18.

4) NONCOMBUSTIBLE DUCTS THAT PENETRATE A FIRE SEPARATION SEPARATING A VERTICAL SERVICE SPACE FROM THE REMAINDER OF THE BUILDING NEED NOT BE EQUIPPED WITH A FIRE DAMPER AT THE FIRE SEPARATION PROVIDED:
A) THE DUCTS HAVE A MELTING POINT ABOVE 760°C, AND
B) EACH INDIVIDUAL DUCT EXHAUSTS DIRECTLY TO THE OUTSIDE AT THE TOP OF THE VERTICAL SERVICE SPACE.
5) A DUCT SERVING COMMERCIAL COOKING EQUIPMENT AND PIER



BARE PIPES, CONDUITS, OR TUBING

9.10.9.6. PENETRATION OF FIRE SEPARATIONS

9) COMBUSTIBLE WATER DISTRIBUTION PIPING IS PERMITTED TO PARTLY OR WHOLLY PENETRATE A FIRE SEPARATION THAT IS REQUIRED TO HAVE A FIRE-RESISTANCE RATING WITHOUT BEING INCORPORATED IN THE ASSEMBLY AT THE TIME OF TESTING AS REQUIRED IN SENTENCE (3). PROVIDED THE PIPING IS PROTECTED WITH A FIRE STOP IN CONFORMANCE WITH SENTENCE 3.1.9.5.(4).

10) COMBUSTIBLE SPRINKLER PIPING IS PERMITTED TO PENETRATE A FIRE SEPARATION PROVIDED THE FIRE COMPARTMENTS ON EACH SIDE OF THE FIRE SEPARATION ARE SPRINKLERED.

3.1.9.5. COMBUSTIBLE PIPING PENETRATIONS

1) COMBUSTIBLE SPRINKLER PIPING IS PERMITTED TO PENETRATE A FIRE SEPARATION PROVIDED THE FIRE COMPARTMENTS ON EACH SIDE OF THE FIRE SEPARATION ARE SPRINKLERED.

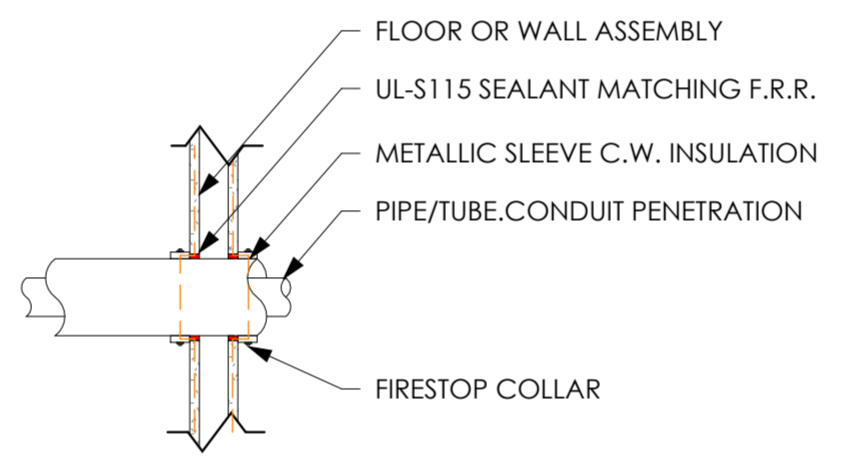
2) COMBUSTIBLE WATER DISTRIBUTION PIPING IS PERMITTED TO PENETRATE A FIRE SEPARATION THAT IS REQUIRED TO HAVE A FIRE-RESISTANCE RATING WITHOUT BEING INCORPORATED IN THE ASSEMBLY AT THE TIME OF TESTING AS REQUIRED BY ARTICLE 3.1.9.2., PROVIDED THE PIPING IS PROTECTED AT THE PENETRATION WITH A FIRE STOP IN CONFORMANCE WITH SENTENCE (4).

3) EXCEPT AS PERMITTED BY SENTENCES (4) TO (5), COMBUSTIBLE PIPING SHALL NOT BE USED IN A DRAIN, WASTE AND VENT PIPING SYSTEM IF ANY PART OF THAT SYSTEM PENETRATES:
A) A FIRE SEPARATION REQUIRED TO HAVE A FIRE-RESISTANCE RATING, OR
B) A MEMBRANE THAT FORMS PART OF AN ASSEMBLY REQUIRED TO HAVE A FIRE-RESISTANCE RATING.

4) COMBUSTIBLE DRAIN, WASTE AND VENT PIPING IS PERMITTED TO PENETRATE A FIRE SEPARATION REQUIRED TO HAVE A FIRE-RESISTANCE RATING OR A MEMBRANE THAT FORMS PART OF AN ASSEMBLY REQUIRED TO HAVE A FIRE-RESISTANCE RATING, PROVIDED:
A) THE PIPING IS SEALED AT THE PENETRATION BY A FIRE STOP THAT HAS AN F RATING NOT LESS THAN THE FIRE-RESISTANCE RATING REQUIRED FOR THE FIRE SEPARATION WHEN SUBJECTED TO THE FIRE TEST METHOD IN CAN/ULC-S115, "FIRE TESTS OF FIRESTOP SYSTEMS," WITH A PRESSURE DIFFERENTIAL OF 50 PA BETWEEN THE EXPOSED AND UNEXPOSED SIDES, WITH THE HIGHER PRESSURE ON THE EXPOSED SIDE, AND
B) THE PIPING IS NOT LOCATED IN A VERTICAL SERVICE SPACE.

5) COMBUSTIBLE DRAIN, WASTE AND VENT PIPING IS PERMITTED ON ONE SIDE OF A VERTICAL FIRE SEPARATION PROVIDED IT IS NOT LOCATED IN A VERTICAL SERVICE SPACE.

6) COMBUSTIBLE PIPING FOR CENTRAL VACUUM SYSTEMS IS PERMITTED TO PENETRATE A FIRE SEPARATION PROVIDED THE INSTALLATION CONFORMS TO THE REQUIREMENTS THAT APPLY TO COMBUSTIBLE DRAIN, WASTE AND VENT PIPING SPECIFIED IN SENTENCE (4).

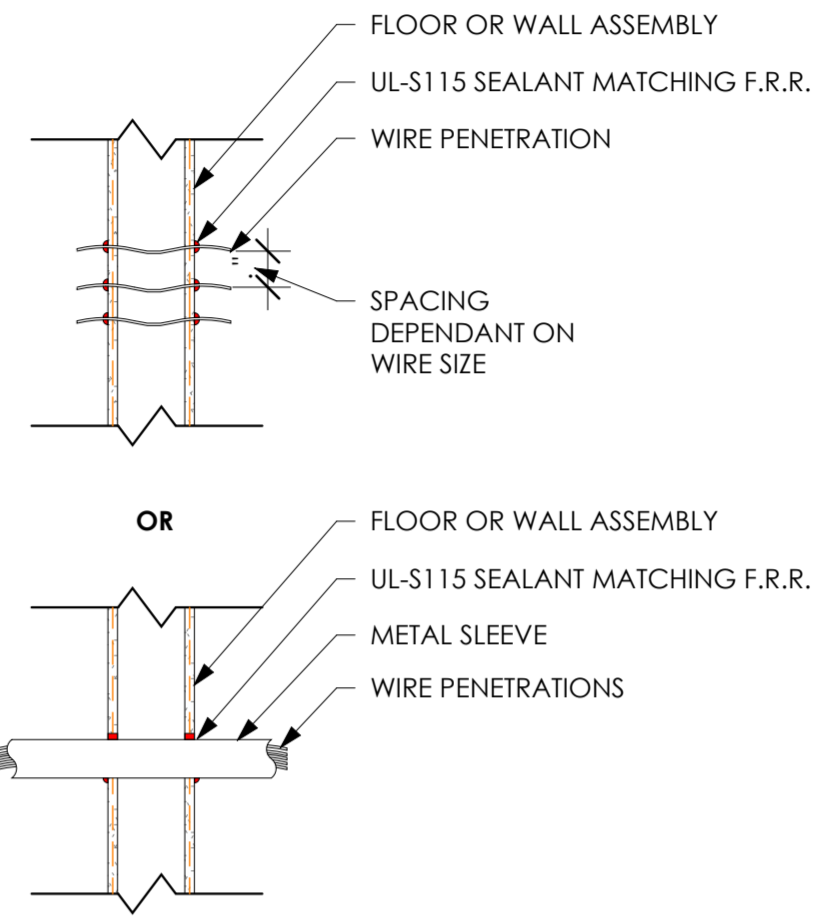


WIRES, CABLING

9.10.9.6. PENETRATION OF FIRE SEPARATIONS

5) SINGLE CONDUCTOR METAL-SHEATHED CABLES WITH COMBUSTIBLE JACKETING THAT ARE MORE THAN 25 MM IN OVERALL DIAMETER ARE PERMITTED TO PENETRATE A FIRE SEPARATION REQUIRED TO HAVE A FIRE-RESISTANCE RATING WITHOUT BEING INCORPORATED IN THE ASSEMBLY AT THE TIME OF TESTING AS REQUIRED IN SENTENCE (3). PROVIDED THE CABLES ARE NOT GROUPED AND ARE SPACED A MINIMUM OF 300 MM APART.

6) ELECTRICAL WIRES OR CABLES, SINGLE OR GROUPED, WITH COMBUSTIBLE INSULATION OR JACKETING THAT IS NOT TOTALLY ENCLOSED IN RACEWAYS OF NONCOMBUSTIBLE MATERIAL, ARE PERMITTED TO PARTLY OR WHOLLY PENETRATE AN ASSEMBLY REQUIRED TO HAVE A FIRE-RESISTANCE RATING WITHOUT BEING INCORPORATED IN THE ASSEMBLY AT THE TIME OF TESTING AS REQUIRED IN SENTENCE (3). PROVIDED THE OVERALL DIAMETER OF THE WIRING IS NOT MORE THAN 25 MM



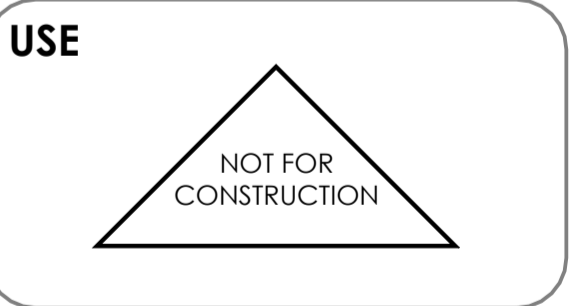
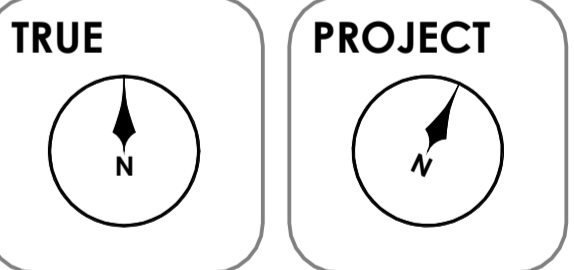
PROJECT NAME
331 FRONT STREET RENOVATION

ADDRESS
331 FRONT STREET
KASLO BC
VOG1M0

CLIENT
OWNER

DRAWING NOTES

SEAL



REVISIONS/HISTORY		
DATE	NUMBER	DESCRIPTION
2023-12-29	0	DP/BP

SHEET NAME
FIRESTOPPING

SHEET NO.
A15

REV. NO.

OFFICIAL COMMUNITY PLAN
APPENDIX II

VILLAGE OF
KASLO



BUILDING DESIGN GUIDELINES

MAINSTREET CONSULTING ASSOCIATES, 1991
(Revised by Village of Kaslo, 2022)

Contents

INTRODUCTION	1
I BUILDING DESIGN GUIDELINES	1
II DEVELOPMENT GUIDELINES	1
III THEMATIC GUIDELINES.....	1
IV DESIGN REVIEW COMMITTEE	1
V KASLO'S DEVELOPMENT PERMIT AREA.....	2
VI JURISDICTIONAL AUTHORITY.....	2
SECTION A: ELEMENTS OF THE STREETScape.....	2
I ENVIRONMENTAL CONSIDERATIONS.....	2
II STREETScape STYLE	2
III BUILDING MASSING {Plate 1}.....	3
IV SETBACK {Plate 2}	3
V SCALE {Plate 3}	3
VI PROPORTION {Plate 4}.....	3
VII PATTERN {Plate 5}	4
VIII SECONDARY FACADES.....	4
IX MAINTENANCE	4
SECTION B: ELEMENTS OF THE BUILDING FACADE.....	5
I EXTERIOR WALL MATERIALS {Plate 7}.....	5
II WALL OPENINGS {Plate 8}	6
III ORNAMENTATION {Plate 9}.....	8
IV CORNICE TREATMENTS {Plate 10}.....	8
V ROOFS	9
VI ROOFING MATERIALS	9
VII LIGHTING ON BUILDINGS.....	9
SECTION C: BUILDING SIGNAGE.....	10
I TYPES OF SIGNAGE {PLATE 11}.....	10
II LIGHTING SIGNS (Plate 12}.....	10
III LETTER TYPEFACE & COLOUR DETAILS {Plate 12}	10
IV MATERIALS AND SURFACES	11
V FASC1A & PROJECTING SIGNAGE {Plate 13}.....	11
SECTION D: OVERHANGS.....	12
I AWNINGS {Plates 14 & 15}.....	12
II CANOPIES {Plate 16}	14
III BALCONIES.....	15
SECTION E: APPENDICES.....	15
A. DEVELOPMENT PERMIT APPLICATION PROCEDURE.....	16
B. DESIGN REVIEW PROCEDURES	16

INTRODUCTION

I BUILDING DESIGN GUIDELINES

The Village of Kaslo Building Design Guidelines have been created to meet the needs of the Heritage & Commercial Core Development Permit Area. By describing and illustrating the Village of Kaslo's approved design expectations, Building Design Guidelines assist in the difficult task of implementing and regulating quality revitalization design. Users of the Guidelines include property owners, merchants, prospective developers, and administrators.

II DEVELOPMENT GUIDELINES

The Kaslo Building Design Guidelines are intended to be an aid to developers within the designated area, who are wishing to create attractive building exteriors, sympathetic to the village's design theme. Building Design Guidelines outline the design principles at work in the village and assist developers to use appropriate architectural standards and design principles when conceiving new, or revitalizing old, storefronts.

By combining ideas gleaned from vintage photographs with a creative application of the Building Design Guidelines, it will be possible to achieve a cohesive integrated appearance that will benefit the Village of Kaslo and its economy.

III THEMATIC GUIDELINES

Proposals for storefront renovation and new construction in the Heritage & Commercial Core Development Permit Area should respect the Village of Kaslo's design objective, which is:

- (i) To protect and enhance the heritage buildings present in the village; and,
- (ii) to promote new building designs which are sympathetic to Kaslo's picturesque heritage core and its spectacular natural environment.

All detailing and decoration of buildings in Kaslo should be authentic or adapted from authentic designs. Vintage photographs of Kaslo can be an excellent reference for the village's original historic look and a source of ideas for both old and new buildings. Many photographs of Kaslo's buildings have been taken over the years and are now kept at the Kootenay Lake Historical Society's Archives. Should one wish to view these photographs for ideas, contact the Village Office or the Kootenay Lake Historical Society.

Incorporation of the Guidelines into the Official Community Plan gives a consistent, impartial framework for all design review decisions. Building Design Guidelines provide the standards by which applications are reviewed.

IV DESIGN REVIEW COMMITTEE

The Design Review Committee has the mandate to review and make recommendations on Development Permit applications made in the Heritage & Commercial Core Permit Area. Positive interaction between the Design Review Committee and the people revitalizing within the Permit Area should be encouraged. By dealing promptly and fairly with applications, the Design Review Committee earns the community's trust.

V KASLO'S DEVELOPMENT PERMIT AREA

A map (Schedule C of the Official Community Plan) shows the boundaries of the Heritage & Commercial Core Development Permit Area, further described in Section 4.2 of the Official Community Plan.

VI JURISDICTIONAL AUTHORITY

Any recommendations contained herein notwithstanding, it shall be understood that permit applications must satisfy the requirements of the Building and Electrical Inspectors, as well as the Fire Commissioner; and/or be in accordance with Village of Kaslo Land Use By-law and Regional District of Central Kootenay Building By-law, and amendments thereto.

SECTION A: ELEMENTS OF THE STREETScape

I ENVIRONMENTAL CONSIDERATIONS

Consider the following general design and construction requirements posed by the area's weather conditions.

i. Wind

All hanging signs, awnings and canopies should be constructed with sufficient bracing to withstand wind velocities of 0.3 KN/M.

ii. Rain

Roofs, cornices, edges, canopies and other architectural elements exposed to precipitation, should be properly designed and flashed to protect the building structure and carry water away from pedestrian pathways or human-use areas. Diversion should be sufficient to direct water to municipal drainage systems.

iii. Snow

Any building structure upon which snow accumulates (canopies, awnings, balcony roof forms) should be constructed in a manner conducive to spontaneous snow dump of accumulated loads into non-pedestrian or nonhuman-use areas. In cases where this is not feasible, the design should consider the factors involved in physical removal of snow build-up when it approaches carrying limits.

iv. Ice

Repeated heating and cooling of snow loads can give rise to ice accumulations. Building design should therefore consider heat loss factors as a method of controlling ice build-up. Proper flashing should be accorded to areas subject to ice accumulation. Walkways, entries, and other human-use areas should be designed with the aim of minimum potential ice build-up and efficient removal of accumulations that do occur.

II STREETScape STYLE

Style in the Heritage & Commercial Core Development Permit Area results from design principles used in the buildings of the streetscape. Building massing, setback, scale, proportion,

and pattern are design treatments that deserve careful consideration when planning development or revitalization activities. The recommendations put forward in this document have been derived from an analysis of the downtown based on these streetscape elements.

The key to creating an attractive downtown for Kaslo is to acknowledge in new designs the precedents set by the original historic buildings.

III BUILDING MASSING {Plate 1}

Historic photographs indicate that Kaslo's turn of the century buildings were executed in wood, brick, or combinations of these with stone. Common turn of the century building massing included

- (i) the one storey building with false front;
- (ii) the two storey building;
- (iii) the two storey building with false front; and,
- (iv) the two storey building with tower.

Commercial architecture built after Kaslo's boom era was either one storey high (similar to historic building massing), or more typically modern: one or two storeys in height with strong horizontal emphasis. Plate 1 illustrates these building massing types.

Building massing typical of turn-of-the-century Kaslo is recommended over modern massing for all new structures in the Heritage & Commercial Core Development Permit Area.

IV SETBACK {Plate 2}

A setback is the distance relationship between the building's front facade and the sidewalk. Kaslo's streetscape is typified by buildings located close to the sidewalk with very little, if any, open area between structures. Setback for new buildings should be governed by the precedent of adjacent buildings. Plans that propose a building to be placed substantially back from the established streetscape should be evaluated on an individual basis.

V SCALE {Plate 3}

Most of Kaslo's early commercial structures were one or two stories in height. The popular false front treatment or steeply pitched roofs often added another storey to the building height. When new structures are planned for the area, efforts should be made to encourage building heights that compliment heights of existing, adjacent buildings. The imposition of a new structure that varies radically in height from the scale of existing buildings may prove detrimental to the overall look of the streetscape. For this reason, building height for new construction in the Heritage & Commercial Core Development Permit Area is limited to twelve (12) meters.

VI PROPORTION {Plate 4}

By examining the height-to-width proportions (relationships) of various buildings in Kaslo's downtown core, characteristics of historic and modern design aesthetics emerge. Historic buildings tend to have a vertical emphasis which can be observed in window openings, façade shapes and detailing that guides the eye upwards. Conversely, many modern buildings appear to hug the ground. This horizontal emphasis is created by building shapes and window openings that extend in a direction parallel to the ground.

To be consistent with Kaslo's design theme, new buildings and revitalized structures within the Heritage & Commercial Core Development Permit Area should emphasize the vertical in window openings, facade shapes and ornamental detailing.

VII PATTERN {Plate 5}

i. Walls, Windows & Skylines

Balanced, symmetrical spacing of windows and doors was a common feature in buildings of the historic streetscape. The overall effect of alternating walls and openings created interesting pattern in the streetscape.

A building's skyline silhouette also added pattern to the streetscape. Framing on many of Kaslo's original wooden buildings was carried above the true roofline in the form of a false front' which would conceal a steeply pitched, gable-end roof. Others featured false fronts that covered only a portion of the gable end. Besides creating interest at the skyline, a false front provided an imposing commercial facade and a large rectangular area for signage.

Building profiles for existing structures and proposed construction should strive to create an animated, imaginative skyline through the use of massing and articulation. Plates 9 & 10 illustrate some historic; skyline treatments used in Kaslo.

ii. The 'Ins and Guts' {Plate 6}

Pattern in the streetscape is created by the articulation, or 'ins and cuts', of the building facade. Exterior wall surfaces that are articulated should be encouraged over flat, unbroken surfaces. Typical historic features that create pattern include comer boards, window and door trims, lintels, pilasters, indented bays, wood siding, cornices, brackets, balconies and canopies. Relief detailing of this nature creates a lively and interesting pattern when worked into the design of the building face.

VIII SECONDARY FACADES

A building is more than just the front facade. Historically, the highly visible front facade was reserved for more ornate detailing, whereas the secondary facades - the sides and rear of a building - received less expensive treatments. The street face in the commercial district is the most important, however secondary facades should be finished in a manner that is pleasing to the eye and consistent with Kaslo's design theme. Acceptable exterior wall treatments for secondary facades include horizontal board claddings, pressed metal panels, brick, and stucco parging.

All proposals for new construction in the Development Permit Area should consider the finished appearance of secondary facades.

IX MAINTENANCE

The effectiveness of the building facade is greatly influenced by the tidiness of its appearance. Buildings require ongoing maintenance - for instance, awnings require cleaning on a regular basis and exterior paint should be re-applied every ten or so years. Business owners should hold to a maintenance regimen that ensures the attractiveness of their building's facade.

If in the opinion of the Design Review Committee, the maintenance of a building is so poor as to become a detriment to the look of the Heritage & Commercial Core Development Permit Area, the Committee may recommend to Council the enforcement of the Unsightly Premises By-Law, or any other action which Council may deem appropriate. This would encourage the upgrading of the building facade to an acceptable community standard.

SECTION B: ELEMENTS OF THE BUILDING FACADE

I EXTERIOR WALL MATERIALS {Plate 7}

Although a few buildings were made using bricks from the historic Millington Bros.' Brick & Tile Yard in Kaslo, vintage photographs show that most of Kaslo's original buildings were made of wood frame construction and that front facades were sheathed with horizontal sidings. In all wood buildings vertical boards (1 x 4's or 1 x 6's) were used to cover-trim the corners, and to outline door and window openings.

Wood siding was carried down to the window level on most commercial buildings in Kaslo. A common treatment was to highlight the support wall, or bulkhead, under the display window through the use of decorative wood paneling. The bulkheads were embellished with simple wood mouldings or with decorative wood siding applications.

Most buildings put up after the 1930s tended to be faced in masonry or stucco materials. Some of the earlier wood-clad buildings were covered with stucco at a later date. All new buildings should be sheathed in materials that are in harmony with the environment around Kaslo. Channeled wood sidings are a good choice for exterior materials. The selection of facade materials should respect the nature of the climactic conditions of the Kootenay Lake area, particularly sunlight, wind, rain or snow. Materials should be of a substantial nature to limit the effects of weathering and/or vandalism. Details should be sensibly designed to make certain that all portions of the building facade exposed to weathering are watertight.

Building code requirements for snow and wind loading, and fire prevention must be met.

i. Wood

Paint and stain finishes are preferred over unfinished or clear finished woods.

Encouraged:

- Horizontal wood board siding applications
- Vertical board-and-batten or shiplap jointed boards (secondary facades only)
- Wooden corner boards: 1"x 4" or 1"x 6"
- Window & door wood trims: 1" x 4" or 1" x 6"
- Hardi-board shingles or thin-split shakes

Discouraged:

- Plywood and chipboard as finished siding

ii. Masonry

Historic photographs of Kaslo indicate that brick and stone were occasionally used as exterior building materials or in corner detailing. Masonry provides an excellent low maintenance surface and is acceptable as a finish on new construction; nevertheless, the application of masonry veneer over historic; fabric is strongly discouraged. Designs for masonry will generally blend more successfully with the heritage core if they follow historic styling precedents. Traditional red bricks are favoured over alternate colours.

Encouraged:

- Brick, in traditional red hues
- Regular coursed stone
- Stucco that is flat and patternless

Discouraged:

- Stone veneers (esp. random coursed veneers)
- Unfinished cast concrete
- Unfinished regular concrete block

iii. Metals and Synthetics

Many of Kaslo's turn-of-the-century buildings featured fire resistant "iron clad" pressed metal siding panels on secondary facades. In general, however, synthetic materials are discouraged in favour of natural, historic materials.

Encouraged:

- Pressed metal siding panels (secondary facades)

Discouraged:

- Artificial brick
- Artificial stone
- Asbestos shingles or panels
- Fiberglass panels
- Vinyl, metal or plastic siding

II WALL OPENINGS {Plate 8}

i. Windows

Windows are a key element in expressing the historic character of a building. Two types of windows were common in old Kaslo:

- i) the store display window, with multiple panes and fixed glazing; and
- ii) the double-hung window, with one or two panes of glass per sash.

In early Kaslo, display windows on commercial buildings were considerably larger than the double-hung window; double-hung windows were approximately three feet wide, and five or six feet high.

Up to the 1930s, frames, sashes, and glazing bars made of wood were far more common than today's metal-sashed windows. For this reason, the modern aluminum sash in place on some of

Kaslo's buildings can detract from a convincing period ambience. Possible corrective measures to this problem include:

- (i) putting wood trim around windows;
- (ii) using false muntin insets to create a multi-paned effect;
- (iii) giving large display windows period lettering treatments; and,
- (iv) applying paint to the aluminum sash to conceal the metallic surface.

Original transom windows - those small windows above a door or large plate glass display surface - should be retained whenever possible. These were occasionally covered up when a shopkeeper lowered the ceiling of his store. Today it is generally agreed that unobscured transom windows add greatly to the appeal of an older structure. In cases where retrieval is too costly, an alternate measure would be to recreate the transoms with mouldings and a trompe l'oeil paint scheme.

Upper storey window openings should respect the precedent of the original building style. Window sashes on older buildings should be retained whenever possible. If thermal upgrading is necessary, snap-in muntin insets that copy the original muntin pattern should be used.

New buildings should incorporate large display windows on the street level and vertically long and rectangular windows on upper storeys.

Encouraged:

- Wooden frames, glazing bars, sash, sill, & lintel
- Double hung windows
- Vertically long and rectangular window panes
- Authentic or false (snap-in) muntins
- Coloured metal or painted frames
- Transom windows
- Perked lettering: etched, painted or decaled

Discouraged:

- Metal frames, glazing bars, sash, sill, & lintel
- Flat, featureless, window surrounds
- Unpainted metal frames
- Small windows at street level
- Horizontally rectangular windows
- Altering the original shape of historic second storey windows

ii. Doors

Doors are also capable of conveying an historic look in the downtown core. Older commercial buildings had wooden, paneled doors that were partially glazed with fixed glass panes. Additional glazing was occasionally used above the door in the form of transom lights. Trimming and capping of doors should follow the pattern established by windows treatments. A modern entrance treatment is to use a thick, single sheet of glass as a door. If present, glass doors should be etched, lettered or decaled. New building designs should incorporate wood and glass doors whenever possible.

Encouraged:

- Paneled doors with glass
- Doors with mouldings to give surface interest
- Paneled doors with transom lights
- Painted or anodized metal doors

Discouraged:

- Flush, rather than paneled, wooden doors
- Unpainted metal or aluminum doors
- Solid plate glass doors

III ORNAMENTATION {Plate 9}

Kaslo buildings featured decorative treatments such as brackets, finials, quoins, carved fascia panels, jig-sawn cresting & scrollwork, and stepped false fronts. Balconies and canopies with chamfered vertical supports provided another opportunity for ornamentation. In the spirit of Kaslo's early appearance, ornamental details (based on authentic precedent when possible) should be used generously.

Encouraged:

- Large brackets
- Finials (ornaments at the top of the cornice)
- Quoins
- Carved fascia panels
- Jig-sawn cresting & scrollwork
- False fronts
- Balconies and canopies

Discouraged:

- Modern painted murals, except trompe l'oeil designs
- Stone mosaic murals

IV CORNICE TREATMENTS {Plate 10}

Late nineteenth century style dictated that the wall-roof junction be 'capped off' by a series of decorative boards, collectively called the 'cornice.' Cornices could be as simple as a single horizontal board of 1" thick stock fastened to the top of the fronting wall, with a 2" thick cap covering it at right angles. A formed bracket in sawn wood could be integrated at right angles for decorative support.

More common in Kaslo were elaborate cornices constructed by building up a series of boards of varying thicknesses and widths under the cap. A distinctive trait to Kaslo's turn-of-the-century commercial architecture was the apparent whimsy displayed in diverse and exaggerated cornice treatments. This tradition was followed well into the 1920s.

Cornice design on older buildings should reflect the original style of the structure. Refer to historic photographs for design ideas whenever possible. Cornices should also be designed in a manner that prevents water seepage into materials below the cap.

Encouraged:

- Cornice profiles that project out from the building face
- Cornices that enliven the skyline using height variations appropriate to building style and massing
- Cornice design and detailing that can withstand prevailing weather patterns

Discouraged:

- Flat, unarticulated cornices

V ROOFS

Roofs characteristic of downtown Kaslo include front-end gables with pitches of 12 in 12 and 8 in 12, and flat or stepped roofs with a slight downward grade toward the rear. False fronts and parapet wall roofs are frequently employed on wooden and brick buildings.

Encouraged:

- Front-end gables with 12/12 or 8/12 pitches
- Flat or stepped false fronts hiding gable roof or flat roof with gradual downward slant to the rear
- Parapet walls

Discouraged:

- Flat, level roofs - particularly those that do not feature an articulated skyline

VI ROOFING MATERIALS

Roof structures should be designed to withstand a minimum snow loading of 3.2 KN/M (66 psf).

Encouraged:

- Finished metal panels
- Shingle textured synthetics

Discouraged:

- Rough shakes
- Tile
- Tar and gravel
- Wood shakes or shingles (due to wildfire hazard)

VII LIGHTING ON BUILDINGS

Light fixtures attached to the building face should reflect the nature of the original building style, both historic and modern. Avoid "Ye Olde" fixtures which are uncharacteristic of the village's actual heritage.

Encouraged:

- Indirect, concealed fluorescent or incandescent
- Turned, enameled, metal shades
- Metal-cast fixtures
- LED

Discouraged:

- Old English-style carriage lanterns
- Anachronistic lighting fixtures

SECTION C: BUILDING SIGNAGE

I TYPES OF SIGNAGE {PLATE 11}

Signage should respect the decorative features of the building, the precedent of historic signage locations, and the overall street image. Wooden signs of fascia (flush-mounted), and projecting (hanging) types should be used. Lettering painted on the sides of buildings is desirable as a method of signage and is consistent with Kaslo's historic design theme. Fascia and projecting signage of the non-interior lit style is preferred over the modern, interior lit plastic type. An adequate means of indirect lighting should be provided. Maximum allowable sign size is determined by a ratio formula of linear frontage of building to surface area of sign, illustrated in Plate 13. (Section D discusses awning and canopy signage.)

Encouraged:

- Fascia
- Projecting
- Window
- Painted wall signage
- Awning and backlit awning
- Free-standing signs
- Canopy face and canopy underside

Not permitted:

- Sandwich board signs on sidewalk
- Rooftop signs
- Flashing or moving signs
- Third party signs

II LIGHTING SIGNS (Plate 12)

Encouraged:

- Indirect lighting styles

Discouraged:

- Interior lit signs

III LETTER TYPEFACE & COLOUR DETAILS {Plate 12}

Building style and colours, as well as the nature of the establishment, should be considered in the selection of appropriate sign typeface.

Encouraged:

- Clear, legible stylized lettering
- Creative graphics

Discouraged:

- Large expanses of white backgrounds
- Home-made, amateurish signs
- Ultra modern graphics and/or lettering styles

IV MATERIALS AND SURFACES

If plywood is used for sign making, use appropriate exterior grades of coated board (i.e. Krezon™) and seal all edges.

Encouraged:

- Painted, carved or shaped wood
- Painted metal
- Building facades with period lettering
- Awnings or canopies
- Glass with period lettering or decals
- Glass that is etched or sandblasted
- Iron or wood mounting brackets and bracing
- Neon tube

Discouraged:

- Unfinished plywood
- Flashing or moving illuminated signs
- Hanging or projecting illuminated plastic signs
- Interior lit signs
- Backlit fascia-mounted plastic

V FASCIA & PROJECTING SIGNAGE {Plate 13}

When interior lit signs are used, the light box should be mounted in a manner that minimizes its intrusive quality. Boxes and mounting brackets should compliment the building face in design and colour.

i. Fascla Signs

Encouraged:

- Maximum ratio of 1:1 (linear frontage: surface area of sign)
- Backlit plastic - dark backgrounds with light lettering preferred
- Painted plywood, coated Krezon™ plywood preferred
- Metal
- Carved wood

ii. Projecting Signs

Encouraged:

- Maximum ratio of 4:1 (linear frontage: surface area of sign)
- Carved wood
- Painted wood

- High quality, exterior grade plywood finished on all sides
- Metal

Discouraged:

- Interior lit plastic

SECTION D: OVERHANGS

I AWNINGS {Plates 14 & 15}

Historic photographs of Kaslo show that various forms of overhead sidewalk coverings were used on downtown buildings. Awnings, canopies and balconies protected pedestrians, boardwalks and the lower building facade from weather exposure. Today these coverings provide the opportunity for attractive decorative highlights to the commercial district.

An awning is a fabric-covered structure that is attached to the building facade and affords protective cover to the sidewalk area. Traditional awning frames were retractable, whereas modern awnings are usually constructed of fixed tube steel frames. Available awning materials include woven cotton, acrylic fabric, and sheet vinyl. Quality awning manufacturers will provide the information necessary to ensure the fabric is appropriate for local climactic conditions.

i. Design

Awning design should be sympathetic to the style, scale, form, and period of the building. Avoid awnings that are so small as to give inadequate weather protection to the sidewalk, or so large as to obscure the building facade or historic detailing. Awning projection should be designed to minimize the tendency to dump snow or rain on the centre of the sidewalk.

ii. Encroachment

Encroachment agreements between the building owner and the Village of Kaslo are required for all structures placed over public space.

iii. Drawings

Engineered drawings are required for all awning installations. Specifications should illustrate the awning structure and the building material to which the awning will be attached. Awnings should be installed by qualified experts.

Iv. Critical Dimensions

Minimum height above sidewalk: 8'-0" (2.66m)

Minimum projection: 3'-0"(1m)

Minimum setback of face from curb edge: 2'-0" (.61 m)

v. Awning Styles

Early twentieth century photographs show that the 'three-point' and 'four point' awning styles were used in Kaslo. Modern awning construction techniques allow for a much greater variety of shapes to be created, but discretion should be used in determining the suitability of the awning form to the subject building and ease in cleaning.

Encouraged for pre-1930 Buildings:

- Three-point traditional triangular style
- Four-point variation (triangular style with expanded fascia area for signage)
- Shapes with relatively steep roof pitches (35-50 degree angles preferred) which promote snow removal and self-cleaning
- Dome awnings in round arched window openings

Discouraged on pre-1930 Buildings:

- Quarter barrel or modern style awnings
- Any shape which has a horizontal top surface of substantial size
- Shapes which present top face angles of less than 30 degrees
- Fascia panels in excess of 2'-0" (.61 m) high

Encouraged for post-1930 Buildings:

- Four-point variation (triangular style with expanded fascia area for signage)
- Quarter barrel awnings
- Geometrically sculptured shapes which relate to the building's form

Discouraged on post-1930 Buildings:

- Any shape which has a horizontal top surface of substantial size
- Shapes which present top face angles of less than 30 degrees
- Fascia panels in excess of 3'-0" (.92 m) high

vi. Fabric, Pattern & Colour

Historic awning fabrics were made of cottons, which were dyed solid colours or painted in bold, two colour stripe patterns. Colours used were similar to the deeper paint tones of the day – deep yellow ochres, rusty reds and dark greens. To enhance the historic flavour of the community, care should be taken to select awning fabrics, colours and patterns which are of a period nature. Plain vinyl fabric should be limited to areas where back-lighting effects are required, for example, valances and signage fascia panels. Avoid the use of excessively brilliant colours now available in modern fabrics.

Encouraged:

- Cottons and acrylics
- Colour stripe patterns, particularly on the top sheet panel
- Solid colours taken from the historic palette
- * PRE-1930 BUILDINGS: Vinyls are acceptable in stripe patterns and fascia panels only
- • POST-1930 BUILDINGS: Solid vinyls are acceptable

Discouraged:

- Excessively bright, modern colours
- Large areas of white or black vinyl fabric

vii. Awning Trim

A finishing detail on period style awnings was valance skirting. Typical edging patterns included the keyed, scalloped and saw-toothed treatments. The valance provides an area for signage and the variety of different edge treatments gives the potential for lively textures. As a precaution against vandalism, the lowest portion of the valance should be at least 8'-0" (2.46m) above sidewalk level. Detachable valances allow for sign changes when necessary.

Encouraged:

- Generously sized valance skirting
- Keyed, scalloped or saw-toothed bottom edge
- Cloth fabric rather than vinyl
- Detachable valance for signage alterations

Discouraged:

- Awnings without valance skirting
- Valances without edge patterns

viii. Lettering on Awnings

Encouraged:

- 'UPPER' and/or 'lower' case letters to a maximum height of 18" (0.45m)
- Graphic borders on fascia sign panels
- Clear, legible stylized lettering

ix. Lighting

Translucent vinyl fabrics allowed the option of blending awning elements with a backlit sign. The fluorescent tubes used for illumination help to brighten up the storefront at night and result in an overall positive effect to the street. Discretion must however be exercised in the selection of appropriate styles and fabrics for backlit awnings, to prevent an overly garish or too modern look for Kaslo's design theme.

Encouraged:

- Back-lit awnings that serve as signage
- Opaque top sheet fabrics are preferred with specific isolated backlit panels

Discouraged:

- Brightly coloured vinyl in plain sheets

II CANOPIES {Plate 16}

Canopies are defined as permanent projecting sidewalk coverings made of materials other than fabric. Canopy roofs popular in Kaslo were sloped and supported by shaped or squared wood columns. Many featured ornamental brackets. Modern snow removal techniques requires that canopy posts not rest on the sidewalk; instead, support canopies with wooden knee braces.

i. Critical Dimensions

- Minimum height above sidewalk of any structural member: 8'-0" (2.46m)
- Minimum setback from curb edge: 18" (.46m)

- Maximum height of fascia: 3'-0" (.92m)

ii. Canopy Fascia Materials

Encouraged:

- Wood (Krezon™ plywood)
- Smooth, painted metal
- Plastic (back-lit fascia panels only)

Discouraged

- Corrugated metals
- Fiberglass
- Stucco

iii. Canopy Roofing Materials

Encouraged:

- Sawn shingles
- Metal
- Tar & gravel
- Cold process tar

Discouraged:

- Rough shakes
- Aluminum and fiberglass shingle
- Fiberglass
- Plywood
- Clay tile

iv. Canopy Signage

The fascia provides a surface for eye-catching signage visible along the length of the street.

Encouraged;

- Multiple signage on a single canopy should be of uniform size

Discouraged:

- Sign boards that extend beyond the perimeter of the canopy fascia

III BALCONIES

Where canopy structures includes balcony features, the detailing of the balcony should be in character with Kaslo's design theme and the subject building. Several examples can be seen in vintage photographs of Kaslo. Railings should be provided to conform to the standards of the National Building Code, with a minimum height of 3'.6" (1.08m). Plate 9 illustrates two of historic Kaslo's balcony rail designs.

SECTION E: APPENDICES

A. DEVELOPMENT PERMIT APPLICATION PROCEDURE

Any proposal to undertake work on the exterior of a building located within the designated boundaries of the Heritage & Commercial Core Development Permit Area must be approved by the Village. Applications for a Development Permit require the following documentation:

- 1) A completed application form, available from the Village Offices, completed by the building owner or their authorized agent.
- 2) A photograph of the building facade as it currently appears.
- 3) A rendering, preferably in colour, of the proposed façade improvements. Where applicable, sketches should be to scale and provide dimensions.
- 4) Colour chips of proposed paint colours, or reference to the comparable colour in the Village of Kaslo Colour Design Guidelines.
- 5) For awnings, sample or accurate approximating of proposed colours and pattern of the material to be used.

B. DESIGN REVIEW PROCEDURES

Designs will be considered using the following criteria:

- 1) Appropriateness of the proposal within the Heritage & Commercial Core Development Permit Area.
- 2) Compatibility of the proposal with the overall streetscape.
- 3) The way the proposal affects a structure, site or area that has been awarded heritage classification.
- 4) The architectural style, massing, orientation, proportions, materials, details, and colours.
- 5) Approval of the Building, Electrical, and Fire Inspectors.

OFFICIAL COMMUNITY PLAN
APPENDIX IV

VILLAGE OF
KASLO



COLOUR DESIGN GUIDELINES

MAINSTREET CONSULTING ASSOCIATES, 1991

I COLOUR IN THE STREETScape

Colour is one of the most powerful design elements used to establish an image of vitality and warmth within the downtown business area. Perhaps because of this, choosing appropriate paint colours for the building facade can be among the most difficult tasks in the revitalization program. Colour schemes which view the entire street as a whole, rather than individual buildings in isolation, result in an attractive, unified appearance for the retail area. Colour should also be used to accent the architectural elements of a building, as well as to minimize flaws and play up the building's best features. Colour Design Guidelines have been prepared to eliminate some of the guesswork from successful colour selection and yet still allow for a great deal of flexibility. By requiring colour schemes to be reviewed by the Design Review Committee, an opportunity to have control over this subjective area of design is offered to the Municipality.

II HISTORIC COLOURS

Colours popular during Kaslo's historic period tended to be muted rather than pure tones. Colours ranged from buffs, greys, and ochres to shades and tints of brick red, olive green, earth tones and blues. In certain instances, the use of wood stains or coloured preservatives may be more appropriate than paint. When coloured roofing is used, it should be coordinated to the colour scheme of the building. Examples of recommended historic colours are in the attached collection of colour chips.

Encouraged:

- Muted, rather than pure tones.
- Good quality flat-finish or semi-gloss alkyd paints, exterior latex, or wood stains.
- Buffs, greys, & ochres; and shades and tints of brick red, olive green, dark brown & blue.
- Light siding with dark trim & dark siding with light trim.
- Multi-hued and multi-coloured schemes.
- Shaded and tinted colours.

Discouraged:

- Single colour paint schemes.
- Large areas of excessively bright, pure colour.
- Extremely dark or light colours, such as pure white, black, chocolate brown, or charcoal grey.

III PAINTS AND STAINS

The wooden buildings of Kaslo were painted rather than stained to provide protection from the weather. A common scheme was to paint the body of the building one colour, and details – such as corner boards, cornices, doors and window trims – a second, contrasting colour. Smaller decorative trims provided the opportunity for a third accent colour. Window trims, door panels, and cornice details on masonry buildings were often painted in multicoloured schemes for decorative effect. If used, stains and preservatives should be limited to non-trim areas.

IV PROPERTIES OF COLOUR

Colour properties of interest to those selecting building facade paint schemes include 'hue', 'value' and 'intensity'. Hue refers to the name of a colour - for example 'red', 'green', or 'blue';

value refers to a colour's brightness, as in 'dark' green or 'light' green; and, intensity (or 'chroma') indicates clarity or the extent to which the hue is free of white. A tint' is a gradation of colour made by adding white to it to lessen the vividness of the hue. 'Shade' refers to the degree to which a colour is mixed with black. The projected 'temperature' of a colour is similarly of interest. Colours are said to be 'cool' when blue forms a part of its make-up; 'warm' colours have red in their composition. The cooler blue-greens and blue-violets seem to recede, whereas the warmer colours of red-orange or red-violet appear to advance. 'Tone' is another word for colour or shade of colour.

V COLOUR SCHEMES

Good colour schemes for buildings are made up of only a few colours which have been tastefully selected, mixed, and blended. Three colour schemes are discussed and illustrated below:

- i) the monochromatic scheme;
- ii) monochromatic plus complementary accent; and,
- iii) the complementary scheme.

Colour samples on the following pages should be taken as recommendations for basic colour direction, not as the only allowable colours or colour schemes for the downtown.

I. Monochromatic:

Monochromatic; colour schemes are developed by using several values (relative degree of light or dark) of the same colour. A typical scheme would include a minimum of three values, for instance, dark, medium, and light. Not all colours can be used successfully in a monochromatic scheme - for instance, the lighter colours of yellow and orange will not show a tonal range sufficient for emphasis.

II. Monochromatic Plus Complementary Accent:

This scheme uses a base of monochromatic colours, but adds a contrasting, complementary colour for accent. The attached colour wheel can be used to establish an opposite or complementary colour.

III. Complementary:

Complementary colour schemes are formed by selecting colours which sit opposite each other on the colour wheel (refer to attached colour wheel). Examples of complementary colours include red & green, blue-violet & yellow-orange, and violet & yellow. Complementary schemes work best when contrasting colours are muted tints and/or shades.

VI PRACTICAL SUGGESTIONS

I. Light versus Dark

Surface irregularities can be optically reduced by using darker coloured paint since these tend to show fewer shadows than light colours. This rule of thumb can be used to camouflage problem areas rather than draw attention to them.

Another optical trick is to use light colours on projecting ornamentation and dark colours on recessed elements to producing a truly three-dimensional effect. In the example of a door, paint raised panels and mouldings a lighter colour and recessed panels in a darker colour.

II. Bright versus Dull

Bright colours are best when used in accent situations rather than as a major trim colour. Large scale use of bright colours can easily result in a garish colour scheme which would be too intense and out of character for the historic downtown.

III. Sheens

The relative reflective quality or sheen of a paint can be used to create optical effects on the building facade. Whereas a flat finish makes a colour recede, a glossy finish results in advancing colour. In other words, the same colour will appear deep in a glossy finish and dull in a flat finish. This phenomenon is explained by light absorption: flat finishes absorb light and glossy finishes bounce it. Like dark coloured paints, a flat finish will diminish surface irregularities.

HISTORIC COLOURS

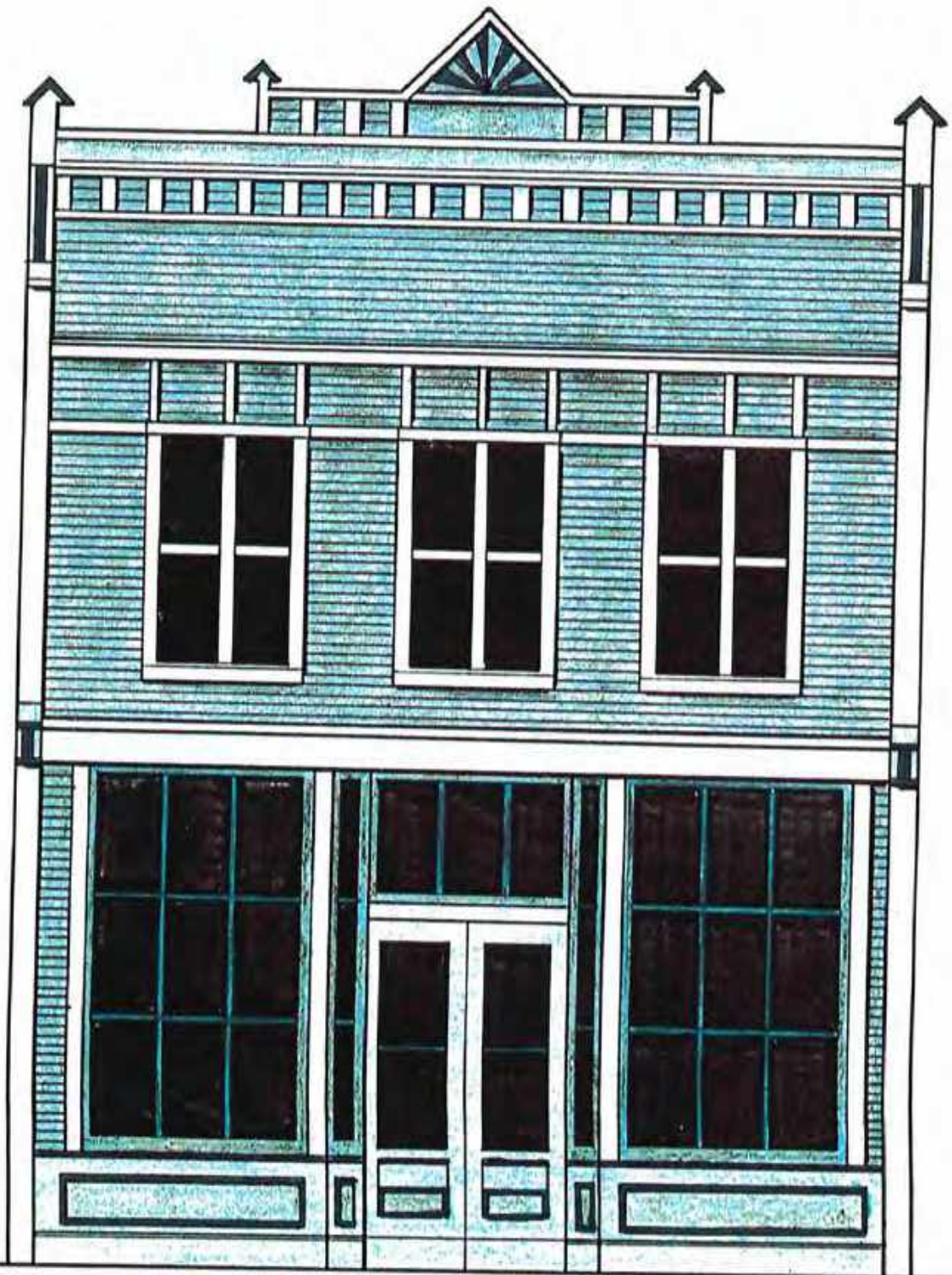


SHADES OR TINTS OF THESE COLOURS ARE ALSO ACCEPTABLE.

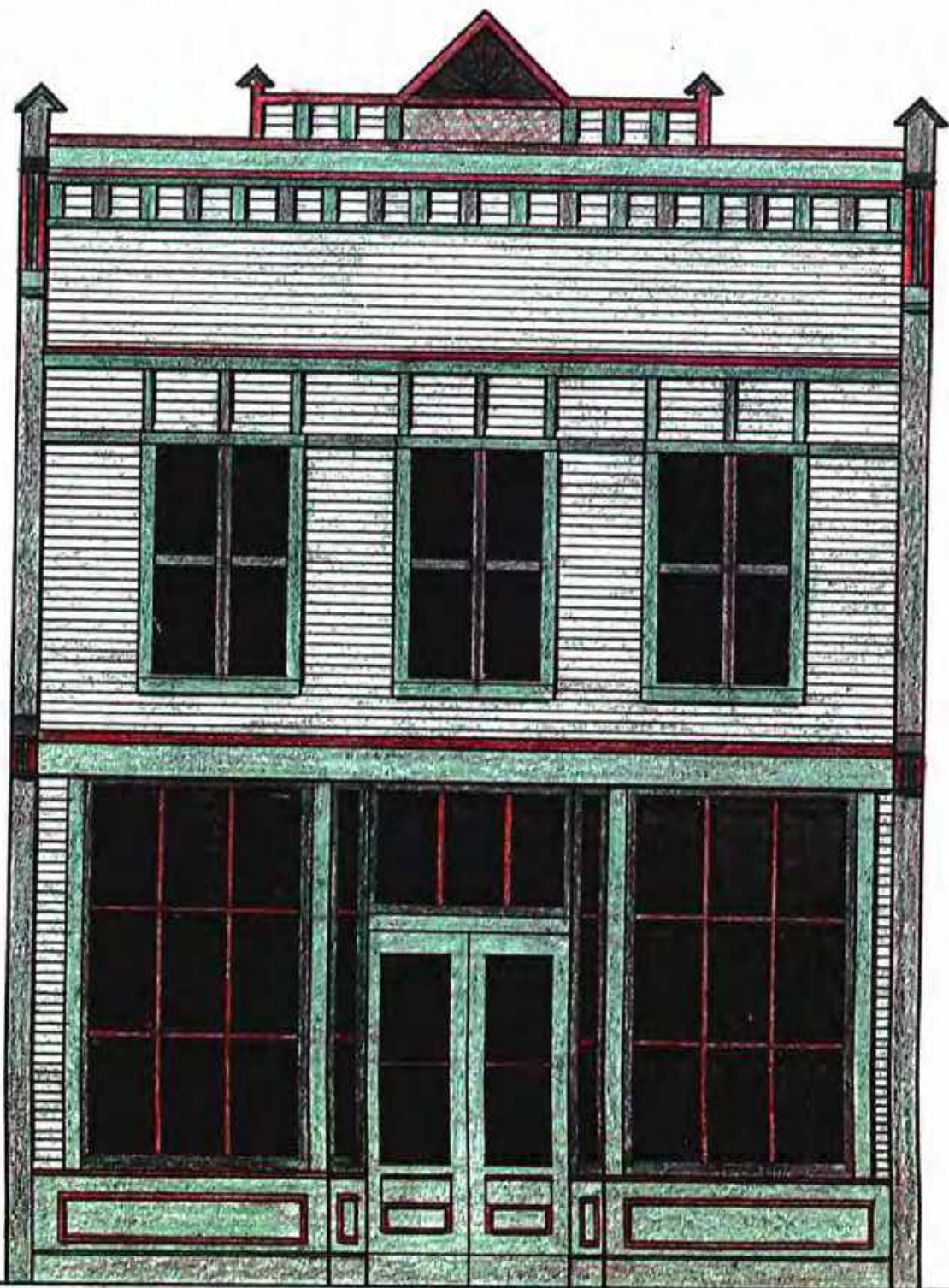
HISTORIC COLOURS



SHADES OR TINTS OF THESE COLOURS ARE ALSO ACCEPTABLE.

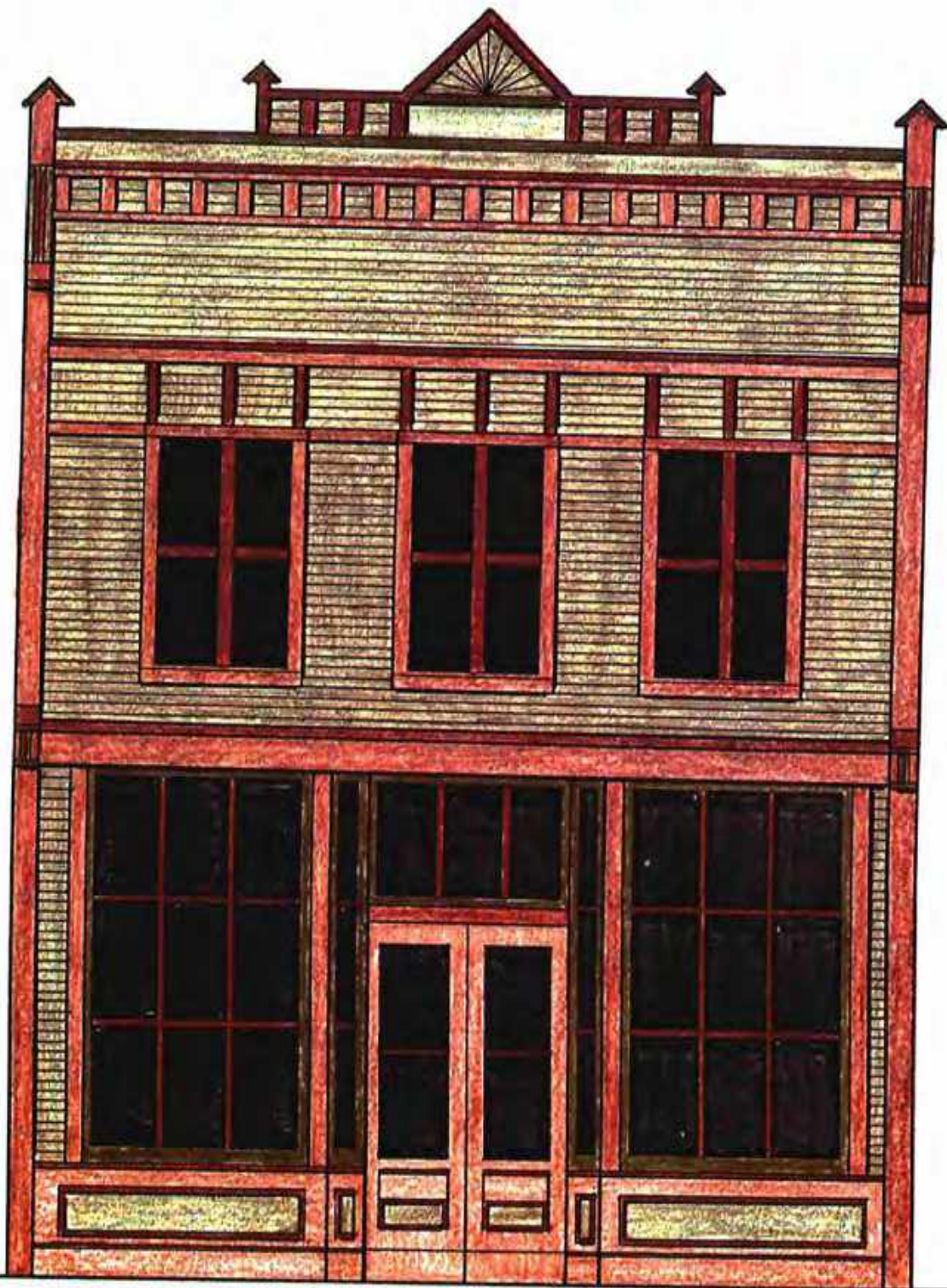


MONOCHROMATIC



MONOCHROMATIC
plus

COMPLEMENTARY ACCENT



COMPLEMENTARY

EARTH TONES

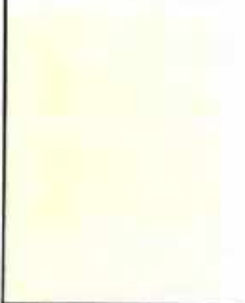
Golden Ochre



Burnt Umber



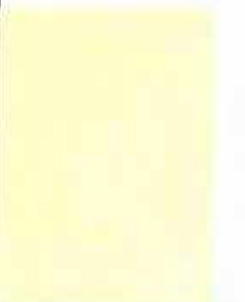
Raw Umber



Terra Cotta



Taupe



WARM COLOURS

Yellow



Orange



Red



Gray



COOL COLOURS

Violet



Blue

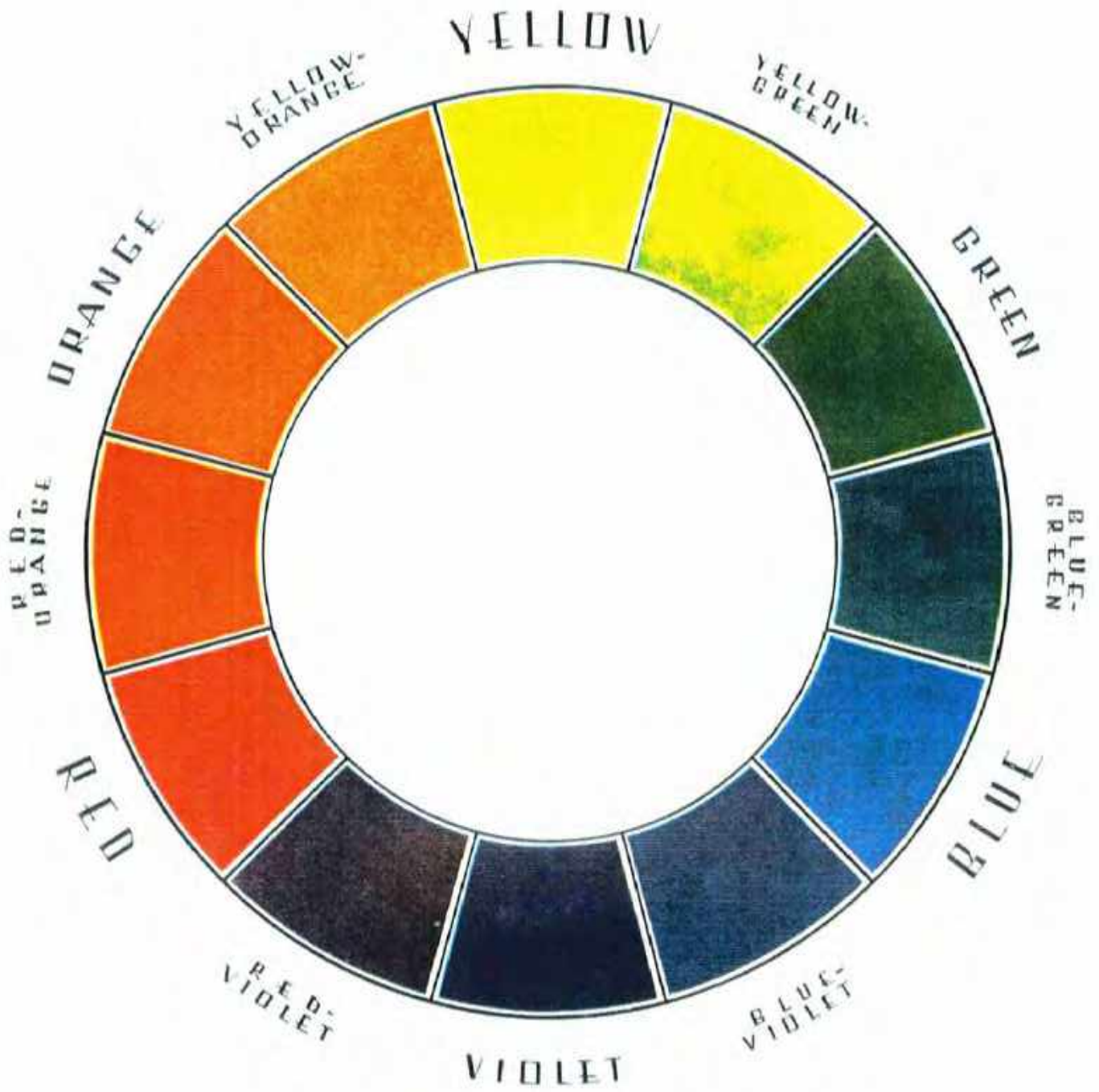


Green



Gray



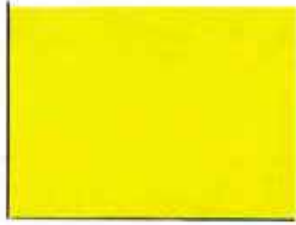


Twelve-hue
color wheel

HUE

TINT

SHADE



COLOUR

MIXED WITH
WHITE

MIXED WITH
BLACK



REQUEST FOR COUNCIL DECISION

PREPARED BY: Catherine Allaway, Corporate Officer

DATE: December 3, 2023

SUBJECT: Engagement of Auditor

PURPOSE: To confirm Council's appointment of the municipal auditor for the 2023 fiscal year

OPTIONS:

Recommendation is indicated in **bold**. Implications are in *italics*.

1. **Appoint and engage Grant Thornton. *The CAO will sign the letter of engagement and the audit will proceed as scheduled.***
2. Do not authorize signing the letter of engagement. *Audit activities may be delayed.*
3. Refer back to staff for further review and report.

RECOMMENDATION:

THAT Grant Thornton be appointed as the auditor for the Village of Kaslo and engaged to report on the fiscal year ending December 31, 2023.

ANALYSIS:

- A. **Background:** Local governments are required to have their financial records reviewed annually by an independent auditor. Grant Thornton has been the Village's auditor since 2018. A Council resolution is required to re-appoint and engage the auditor to review the 2023 fiscal year.
- B. **Discussion:** Grant Thornton will audit the financial statements of Village of Kaslo, which comprise the statement of financial position as of December 31, 2023, and the statements of operations, changes in net financial assets, cash flows, and related schedules for the year then ended, and a summary of significant accounting policies. The audit is tentatively scheduled for the first week of March.
- C. **Attachments:** 2023.12.15 Letter of Engagement from Ashley Ruggiero, Grant Thornton
- D. **Financial Implications:** 2023 audit fees are budgeted for in the Village's Five-Year Financial Plan. Last year costs were approximately \$36,000 for the audit, preparation of financial statements and LGDE submissions. Costs will be higher this year as the municipality must begin reporting on asset retirement obligations and the auditors are required to review this additional material. \$40,000 is currently allocated in the draft 2024 budget.
- E. **Corporate Priority:** Nil
- F. **Environmental Impact:** Nil
- G. **Communication Strategy:** Nil

December 15, 2023

Village of Kaslo
PO Box 576
Kaslo, BC V0G 1M0

Grant Thornton LLP
1440 Bay Ave
Trail, BC
V1R 4B1
T +1 250 368 6445
F +1 250 368 8488

Attention: Mr. Ian Dunlop

Dear: Mr. Dunlop

Thank you for reappointing Grant Thornton LLP (“Grant Thornton”, “we”, “us”, or “our”) to perform the audit of the financial statements and other related services for Village of Kaslo (the “Village”, “you” or “your”) for the year ending December 31, 2023 (collectively, the “Services”). The purpose of this letter and the attached [Schedule A](#) (the “Engagement”) is to outline the nature of the Services and the terms under which you are engaging us to perform those Services.

Objective, scope and limitations

You have requested that we audit the financial statements of Village of Kaslo, which comprise the statement of financial position as at December 31, 2023, and the statement of operations, changes in net financial assets, cash flows, and related schedules for the year then ended, and notes to the financial statements, including a summary of significant accounting policies. We are pleased to confirm our acceptance and our understanding of this Engagement by means of this letter agreement.

Our audit will be conducted with the objectives of obtaining reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to error or fraud, and to issue an auditor’s report that includes our opinion. Reasonable assurance is a high level of assurance but is not a guarantee that an audit conducted in accordance with Canadian generally accepted auditing standards will always detect a material misstatement when it exists. Misstatements can arise from fraud or error and are considered material if, individually or in the aggregate, they could reasonably be expected to influence the economic decisions of users taken on the basis of these financial statements.

The sole purpose of the Engagement is for us to conduct an audit of the Village pursuant to the requirements of the statute pursuant to which the Village is formed.

The audit will not be planned or conducted in contemplation of reliance by any third party or with respect to any specific transaction. Therefore, items of possible interest to a third party will not be specifically addressed and matters may exist that would be assessed differently by a third party, possibly in connection with a specific transaction.

Requests for additional services may arise while we are performing the Services that are specifically identified in this Engagement, including general business advice. The provision of additional services by us does not relieve management of their responsibility for determining what actions the Village should take and performing adequate research and/or due diligence in relation to their decisions, including obtaining separate formal written advice from us in relation to complex or significant matters. Unless covered under a separate engagement letter, this Engagement will cover any such additional services we provide you, which will be billed at our standard hourly rates for the type of services requested. Notwithstanding anything to the contrary herein, we shall bear no responsibility in the event that management makes significant decisions on the basis of advice provided by us that is not formal written advice (for greater certainty, e-mail does not constitute formal written advice for the purposes of this section).

Our responsibilities

We will conduct our audit in accordance with Canadian generally accepted auditing standards. Those standards require that we comply with ethical requirements. As part of an audit in accordance with Canadian generally accepted auditing standards, we exercise professional skepticism throughout the audit. We also:

- Identify and assess the risks of material misstatement of the financial statements, whether due to fraud or error, design and perform audit procedures responsive to those risks, and obtain audit evidence that is sufficient and appropriate for our audit opinion. The risk of not detecting a material misstatement resulting from fraud is higher than one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control.
- Obtain an understanding of internal control relevant to the auditor in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the entity's internal control. However, we will communicate to you in writing concerning any significant deficiencies in internal control relevant to the audit of the financial statements that we have identified during the audit.
- Evaluate the appropriateness of accounting policies used and the reasonableness of accounting estimates and related disclosures made by management.
- Conclude on the appropriateness of management's use of the going concern basis of accounting and, based on the audit evidence obtained, whether a material uncertainty exists related to events or conditions that may cast significant doubt on the Village's ability to continue as a going concern. If we conclude that a material uncertainty exists, we are required to draw attention in our auditor's report to the related disclosures in the financial statements or, if such disclosures are inadequate, to modify our opinion. Our conclusions are based on the audit evidence obtained up to the date of our auditor's report. However, future events or conditions may cause the Village to cease to continue as a going concern.
- Evaluate the overall presentation, structure and content of the financial statements, including the disclosures, and whether the financial statements represent the underlying transactions and events in a manner that achieves fair presentation.

Because of the inherent limitations of an audit, together with the inherent limitations of internal control, there is an unavoidable risk that some material misstatements may not be detected, even though the audit is properly planned and performed in accordance with Canadian generally accepted auditing standards.

Management's responsibilities

Our audit will be conducted on the basis that the Village's management and, where appropriate, those charged with governance acknowledge and understand that they have responsibility:

- a) for the preparation and fair presentation of the financial statements in accordance with Canadian public sector accounting standards;
- b) for such internal control as management determines is necessary to enable the preparation of financial statements that are free from material misstatement, whether due to fraud or error; and
- c) to provide us with:
 - i. Access to all information of which the Village's management is aware, that is relevant to the preparation of the financial statements such as records, documentation and other matters;
 - ii. Additional information that we may request from the Village's management for the purpose of the audit; and
 - iii. Unrestricted access to persons within the Village from whom we determine it necessary to obtain audit evidence.

As part of our audit process, we will request from the Village's management and, where appropriate, those charged with governance written confirmation concerning representations made to us in connection with the audit. Those representations will include:

Financial statements

- a) communicating that all management's responsibilities, as set out in the terms of this Engagement, for the preparation of the financial statements in accordance with Canadian public sector accounting standards have been fulfilled; in particular, responsibility for ensuring that the financial statements are fairly presented;
- b) communicating its belief that significant assumptions used in making accounting estimates, including those measured at fair value are reasonable;
- c) acknowledging that all events subsequent to the date of the financial statements and for which Canadian public sector accounting standards require adjustment or disclosure have been adjusted or disclosed;

Completeness of information

- d) providing us with and making available complete financial records and related data, and copies of all minutes of meetings of council, and committees of council;
- e) acknowledging that all transactions have been recorded and are reflected in the financial statements;
- f) providing us with information relating to any known or probable instances of non-compliance with legislative or regulatory requirements, including financial reporting requirements;
- g) providing us with information relating to any illegal or possibly illegal acts, and all facts related thereto;
- h) acknowledging that all related party relationships and related party transactions have been appropriately accounted for and disclosed in accordance with the requirements of Canadian public sector accounting standards;

Fraud and error

- i) the design and implementation of internal controls to prevent and detect fraud and error;
- j) an assessment of the risk that the financial statements may be materially misstated as a result of fraud;
- k) providing us with information relating to fraud or suspected fraud affecting the Village involving:
 - i. management;
 - ii. employees who have significant roles in internal control; or
 - iii. others, where the fraud could have a material effect on the financial statements;
- l) providing us with information relating to any allegations of fraud or suspected fraud affecting the Village's financial statements communicated by employees, former employees, analysts, regulators, or others;
- m) communicating its belief that the effects of any uncorrected financial statement misstatements aggregated during the audit are immaterial, both individually and in the aggregate, to the financial statements taken as a whole. A list of the uncorrected misstatements will be attached to the representation letter;

Recognition, measurement and disclosure

- n) providing us with its assessment of the reasonableness of significant assumptions underlying fair value measurements and disclosures in the financial statements;
- o) providing us with any plans or intentions that may affect the carrying value or classification of assets or liabilities;
- p) providing us with an assessment of all areas of measurement uncertainty known to management that are required to be disclosed in accordance with MEASUREMENT UNCERTAINTY, CPA CANADA HANDBOOK – PUBLIC SECTOR ACCOUNTING STANDARDS Section 2130;

- q) acknowledging that no subsequent events occurred that require adjustment to the accounting estimates and disclosures included in the financial statements.
- r) providing us with information relating to claims and possible claims, whether or not they have been discussed with the Village's legal counsel;
- s) providing us with information relating to other liabilities and contingent gains or losses, including those associated with guarantees, whether written or oral, under which the Village is contingently liable;
- t) providing us with information on whether or not the Village has satisfactory title to assets, liens or encumbrances on assets, and assets pledged as collateral;
- u) providing us with information relating to compliance with aspects of contractual agreements that may affect the financial statements;
- v) providing us with information concerning subsequent events; and

Written confirmation of significant representations

- w) providing us with written confirmation of significant representations provided to us during the Engagement on matters that are:
 - i. directly related to items that are material, either individually or in the aggregate, to the financial statements; and
 - ii. not directly related to items that are material to the financial statements but are significant, either individually or in the aggregate, to the Engagement.

The Village's management agrees to make available draft financial statements, including appropriate note disclosures and any accompanying other information in time to allow for the audit to be completed within the proposed timeframe. In addition, the Village's management agrees to inform us of any factors or circumstances that come to their attention during the period from the date of the auditor's report to the date financial statements are issued that may impact the financial statements; including their disclosures.

It is agreed that for any electronic distribution of your financial statements and our report thereon, the Village's management is solely responsible for the accurate and complete reproduction of the financial statements and our report thereon.

While the report may be sent to the Village electronically by us for your convenience, only the signed (electronically or manually) report constitutes the Village's record copy.

If the Village's management intends to publish or otherwise reproduce our report (or otherwise make reference to Grant Thornton LLP) in a document(s) that contains other information (including in a document(s) that will be used in connection with a public offering of securities), the Village's management agrees to (a) provide Grant Thornton with a draft of such document(s) to read, and (b) obtain our approval for inclusion of our report in such document(s), before the document(s) are finalized and distributed. The Village's management also agrees that if our name is to be used in connection with the financial statements, it will attach our auditors' report when distributing the financial statements to any third parties. The Village's management agrees to provide us with adequate notice of the preparation of such document(s).

We look forward to full cooperation from your staff during our audit.

Non-audit services directly related to the audit

We will assist the Village's management in preparation of the financial statements. However, the Village's management remains at all times responsible for the preparation and fair presentation of the Village's financial statements in accordance with Canadian public sector accounting standards.

Reporting

Unless unanticipated difficulties are encountered, our report will be substantially in the following form:

INDEPENDENT AUDITOR'S REPORT

To the Mayor and Council of Village of Kaslo

Opinion

We have audited the financial statements of Village of Kaslo (the "Village"), which comprise the statement of financial position as at December 31, 2023, and the statement of operations, changes in net financial assets, cash flows, and related schedules for the year then ended, and notes to the financial statements, including a summary of significant accounting policies.

In our opinion, the accompanying financial statements present fairly, in all material respects, the financial position of Village of Kaslo as at December 31, 2023, and the results of its operations and its cash flows for the year then ended in accordance with Canadian public sector accounting standards.

Basis for opinion

We conducted our audit in accordance with Canadian generally accepted auditing standards. Our responsibilities under those standards are further described in the *Auditor's responsibilities for the audit of the financial statements* section of our report. We are independent of the Village in accordance with the ethical requirements that are relevant to our audit of the financial statements in Canada, and we have fulfilled our other ethical responsibilities in accordance with these requirements. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our opinion.

Responsibilities of management and those charged with governance for the financial statements

Management is responsible for the preparation and fair presentation of these financial statements in accordance with Canadian public sector accounting standards, and for such internal control as management determines is necessary to enable the preparation of financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the financial statements, management is responsible for assessing the Village's ability to continue as a going concern, disclosing, as applicable, matters related to a going concern and using the going concern basis of accounting unless management either intends to liquidate the Village or to cease operations, or has no realistic alternative but to do so.

Those charged with governance are responsible for overseeing the Village's financial reporting process.

Auditor's responsibilities for the audit of the financial statements

Our objectives are to obtain reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditor's report that includes our opinion. Reasonable assurance is a high level of assurance but is not a guarantee that an audit conducted in accordance with Canadian generally accepted auditing standards will always detect a material misstatement when it exists. Misstatements can arise from fraud or error and are considered material if, individually or in the aggregate, they could reasonably be expected to influence the economic decisions of users taken on the basis of these financial statements.

As part of an audit in accordance with Canadian generally accepted auditing standards, we exercise professional judgment and maintain professional skepticism throughout the audit.

We also:

- Identify and assess the risks of material misstatement of the financial statements, whether due to fraud or error, design and perform audit procedures responsive to those risks, and obtain audit evidence that is sufficient and appropriate to provide a basis for our opinion. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error,

as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control.

- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the Village's internal control.
- Evaluate the appropriateness of accounting policies used and the reasonableness of accounting estimates and related disclosures made by management.
- Conclude on the appropriateness of management's use of the going concern basis of accounting and, based on the audit evidence obtained, whether a material uncertainty exists related to events or conditions that may cast significant doubt on the Village's ability to continue as a going concern. If we conclude that a material uncertainty exists, we are required to draw attention in our auditor's report to the related disclosures in the financial statements or, if such disclosures are inadequate, to modify our opinion. Our conclusions are based on the audit evidence obtained up to the date of our auditor's report. However, future events or conditions may cause the Village to cease to continue as a going concern.
- Evaluate the overall presentation, structure and content of the financial statements, including the disclosures, and whether the financial statements represent the underlying transactions and events in a manner that achieves fair presentation.

We communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit and significant audit findings, including any significant deficiencies in internal control that we identify during our audit.

Trail, Canada
Date

Chartered Professional Accountants

The form and content of our report may need to be amended in the light of our audit findings.

Fees

Fees are based on the time required by the individuals assigned to perform the Services defined herein. Individual hourly rates vary according to the degree of responsibility involved and experience and skill required.

Any fee estimates by Grant Thornton take into account i) the agreed-upon level of preparation and assistance from your personnel; and ii) the hourly rates for our professionals that will be providing the Services. Grant Thornton undertakes to advise the Village's management on a timely basis should this preparation and assistance not be provided, or should any other circumstances arise which cause actual time to exceed that estimate.

Our fees for the services described above are estimated to be \$36,000 plus GST, subject to the terms and conditions contained in this letter.

Other services

Depending on the nature and significance of requests for additional services, we may issue a separate engagement letter to cover the additional services and/or provide a fee estimate before we invest significant professional time in providing the additional services. As noted above, in the absence of such a separate engagement letter, the provisions of this Engagement shall apply to the additional services, which will be billed at our standard hourly rates for the types of services requested unless otherwise specified in a fee estimate.

Village consent to production

The Village hereby acknowledges that we may from time to time receive requests or orders from professional (provincial institutes) or other regulatory or governmental authorities (including the Canada Revenue Agency) to provide them with information and copies of documents in our files including working papers and other work-product relating to the Village's affairs. The Village consents to us providing or producing, as applicable, these documents and information without further reference to, or authority from, you.

When a regulatory authority requests access to our working papers and other work-product relating to the Village's affairs, we will, on a reasonable efforts basis, refuse access to any document over which the Village has expressly informed us at the time of delivery that the Village asserts privilege, except where disclosure of documents is required by law or requested by a provincial Institute/Order of Canadian Chartered Professional Accountants pursuant to its statutory authority in which event the Village expressly consents to such disclosure. The Village must mark any document over which it asserts privilege as privileged and inform us of the grounds for the Village's assertion of privilege (such as whether it claims solicitor-client privilege or litigation privilege).

We may also be required to provide information relating to the fees that we collect from the Village for the provision of audit services, other accounting services and non-audit services, and the Village consents to the disclosure of that information as may be required by the regulatory authority.

The Village agrees to reimburse us, upon request, at our standard billing rates for our professional time and expenses, including reasonable legal fees, incurred in dealing with the matters described above.

Release and indemnification

You agree to release, indemnify and hold harmless Grant Thornton, its affiliates and their respective directors, officers, partners, principals, employees, consultants and contractors from any and all claims, liabilities, costs and expenses (including any and all legal expenses incurred by Grant Thornton) arising out of or based upon:

- a) any misstatement or omission in any material, information or representation supplied or approved by you;
- b) any third party claim relating to or arising out of this Engagement; or
- c) any other matter related to or arising out of this Engagement, except to the extent finally determined to have resulted from the negligence, wilful misconduct or fraudulent behaviour of Grant Thornton.

Limitation of liability

In any action, claim, loss or damage arising out of the Engagement, you agree that Grant Thornton's liability will be several, and not joint and several and you may only claim payment from Grant Thornton of its proportionate share of the total liability based on its degree of fault as finally determined. Any action against us must be commenced on or before the date which is the earlier of i) eighteen months from the completion of the Services; and ii) the date by which an action must be commenced under any applicable legislation other than limitation legislation.

The total liability assumed by Grant Thornton, whether to you or any other party, for any claim, loss or damage arising out of or in connection with the Engagement, regardless of the form of action, claim, loss or damage be it tort, contract or otherwise, shall in no event exceed the aggregate of the professional fees paid to Grant Thornton for the Services. In addition, Grant Thornton shall not under any circumstances be liable for any special, indirect or consequential damages, including without limitation, lost profit or revenue, or similar damages.

Standard terms and conditions

This letter and our standard terms and conditions attached as [Schedule A](#), shall form the basis of the Engagement.

Survival of terms

This engagement letter will continue in force for subsequent audits unless terminated by either party by written notice prior to the commencement of the subsequent audit.

Acceptance of engagement letter

Please confirm your acceptance of this Engagement by signing below and returning this letter to us.

We are proud to serve you and we appreciate your confidence in our work. If you have any questions about the contents of this letter, please raise them with us.

Yours sincerely,
Grant Thornton LLP



Ashley Ruggiero

Partner*

*A partner through Ashley Ruggiero Inc.

The services and terms as set forth in this letter are agreed to.

Village of Kaslo

By:

(Signature)

(Name)

(Title)

(Date)

Schedule A

Terms and conditions

Except as otherwise specifically stated in the Engagement, the following general terms and conditions apply to and form part of the Engagement.

Responsibilities – Grant Thornton shall use all reasonable efforts to complete the Services within the time-frame, if any, stipulated in the Engagement. Grant Thornton shall not be liable for failures or delays in performance of the Services that arise from causes beyond its control, including the untimely performance by the Village of its obligations and responsibilities as set out in the Engagement.

In addition, Grant Thornton reserves the right, in whole or in part, to decline the performance of any Service(s) if, in the sole discretion of Grant Thornton, the performance of any of the Services may cause Grant Thornton to be in violation of any applicable law, regulations, professional standards or obligations or which may otherwise result in damage to Grant Thornton's reputation.

Information and announcements – The Village shall cause to be provided or provide Grant Thornton with all material information in its possession or control or to which it has access and such other information as Grant Thornton deems relevant for the purposes of the Engagement. The Village shall also provide where applicable, access to its directors, officers or professional advisers as required to complete the Services. The Village undertakes that if anything occurs after the supply of any such information or documents which would render same inaccurate, untrue, unfair or misleading it will promptly notify Grant Thornton and take all such steps as Grant Thornton may require to correct such information or documents.

Unless otherwise contemplated or permitted by the Engagement, any advice, reports (including the audit report), compiled or reviewed financial statements, discoveries, information or opinions, whether written or oral, rendered or provided by Grant Thornton to the Village (and/or its affiliates) ("Deliverables"), or any communications between Grant Thornton and the Village (and/or its affiliates) in connection with the Engagement may not be disclosed to any third party without the prior written consent of Grant Thornton with the exception of any applicable Canadian taxing authorities and the Village's financial institution. Any Deliverables shall be solely for the benefit of the Village and not for the benefit of any third party and may be relied upon only for the purpose for which the Deliverable is intended as contemplated or defined within the Engagement. Grant Thornton recognizes no responsibility whatsoever, other than that owed to the Village as at the date on which the Deliverable is given to the Village by Grant Thornton, for any unauthorized use of or reliance on any Deliverables. Unless

otherwise expressly provided for within the Engagement or upon written consent of Grant Thornton, no Deliverables shall be used or relied on by the Village as expert evidence or included as evidence in any litigation or court proceeding. Notwithstanding any term within the Engagement and by way of an exception to this paragraph, nothing within the Engagement shall prohibit the disclosure by the Village or Grant Thornton to any person or to the Minister of National Revenue, or the Quebec Minister of Finance as applicable, of the details, including the tax treatment or structure of any transaction or series of transactions, contemplated by the Deliverables, if the transaction or series or transactions would be, or would otherwise be if not for this exception, i) a reportable transaction or an avoidance transaction, as defined by subsection 237.3(1) of the *Income Tax Act* (Canada) ("ITA"), or a series of transactions including an avoidance transaction under which a tax benefit to the Village results or would result but for section 237.3(1) of the ITA; ii) a notifiable transaction as defined by 237.4(1) of the ITA; iii) a confidential transaction under section 1079.8.6 of the *Taxation Act* (Quebec) ("TA"); or iv) any other type of reportable tax avoidance transaction or similar type of transaction requiring disclosure to a taxing authority as defined by any other applicable legislation or regulations.

The Village acknowledges that the Services will involve analysis, judgement and other performance from time to time in a context where the participation of the Village or others is necessary, where answers often are not certain or verifiable in advance and where facts and available information change with time. Accordingly, the Village agrees that the evaluation of the Services provided by Grant Thornton shall be based solely on Grant Thornton's substantial conformance with any standards or specifications expressly set forth within this Engagement and applicable professional standards, and any claim of non-conformance (and applicably of such standards) must be clearly and convincingly shown. Unless the Village or Grant Thornton agree otherwise in writing, Grant Thornton shall have no responsibility to update any of the Services or Deliverables after their completion, and any such updates will be billed at Grant Thornton's then current hourly rates.

Independence – In the event, the Village is (i) an entity that is registered with the United States Securities and Exchange Commission; or (ii) an affiliate of a registrant, and a provision(s) contained within the Engagement would be prohibited by, or impair the independence of, any member firm of Grant Thornton International Ltd ("Grant Thornton International") under any law or regulation applying to the Village, such provision(s) shall not apply to the Engagement to the extent that is necessary to avoid the prohibition against or impairment of the referenced independence of the respective Grant Thornton International member firm.

Independent contractor – Grant Thornton shall provide all services as an independent contractor and nothing in this Engagement shall be construed as to create a partnership, joint venture or other similar relationship with the Village or any other party. Neither the Village nor Grant Thornton shall have the right, power or authority to obligate or bind the other in any manner.

Subcontracting – The Village agrees that Grant Thornton may authorize, allow or require its affiliates and contractors to assist in the performance of the Services and to share in Grant Thornton's rights under the Engagement, including any protections available thereunder, provided that such party(ies) shall commit (as applicable) to be bound by the obligations set forth in the Engagement.

Grant Thornton International Ltd – Grant Thornton is a Canadian member of Grant Thornton International Ltd., a global organization of member firms in over 100 countries. Member firms are not members of one international partnership or otherwise legal partners with each other. There is no common ownership, control, governance, or agency relationship between member firms.

Assisting Firms – Unless otherwise stipulated within the Engagement, this Engagement is with Grant Thornton. In the course of providing the Services, we may at our sole discretion, draw upon the resources of or subcontract a portion of the Services to another entity (including a partnership) which may carry on business under the name which may include within its name "Grant Thornton" or be another member firm of the worldwide network of Grant Thornton International Ltd. member firms (hereinafter "GT Affiliates").

Unless a GT Affiliate is directly contracted by you to provide any of the Services which are subject to this Engagement, the provision of those Services remain the responsibility of Grant Thornton and the Village agrees that it will not bring any claim, whether in contract, tort (including negligence) or otherwise against any GT Affiliate in respect of this Engagement or the Services defined herein. In these circumstances, any GT Affiliate that deals with you for the purpose of completing the Services does so on behalf of Grant Thornton. The provisions of this clause have been stipulated for the benefit of GT Affiliates. GT Affiliates will have the right to rely on this clause as if they were parties to the Engagement and will have the right (subject to the discretion of the courts) to a stay in proceedings if you bring any claim against any GT Affiliates in breach of this clause.

Non-solicitation –The Village agrees that it shall not solicit for employment or hire any of the partners, principals, employees or consultants of Grant Thornton who are involved in the performance of the Services during the term of the Engagement and for a period of twelve (12) months thereafter.

Confidentiality – All information which Grant Thornton receives from the Village or the Village's directors, officers, agents, advisors or counsel in connection with the Engagement and which is for the time being confidential ("Confidential Information"), will be held in strict confidence, provided that Grant Thornton shall be free to, without the requirement to seek any further consent or authorization from the Village, make disclosures (a) as a result of any applicable law or regulation (including any disclosure, notification or other reporting obligation under the *Income Tax Act* (Canada), *Taxation Act* (Quebec) or any other applicable legislation), court or other order binding upon it, under the laws of, or pursuant to any governmental action (including requests and orders), regulatory requirement, or professional standard obligations (including disclosure to a provincial institute of chartered professional accountants); (b) of such information to any professional advisers, consultants and contractors, including GT Affiliates it may consult in connection with the Engagement and the performance of the Services; and (c) as set out in the Engagement.

Grant Thornton may disclose Confidential Information to GT Affiliates for the purposes of fulfilling its professional obligations to manage conflicts of interest and to maintain auditor independence. Confidential Information may also be disclosed as part of compliance reviews or to implement standardized performance measurement, client relationship management and documentation systems within the global Grant Thornton network. The Confidential Information disclosed may include ownership information and information about related entities and such information may be stored, processed and accessed from locations outside of Canada.

Notwithstanding anything to the contrary contained within the Engagement, Grant Thornton shall not be obligated to treat as confidential, or otherwise be subject to any restrictions on use, disclosure or treatment as contained within the Engagement, of any information disclosed by the Village which, (i) is rightfully known by Grant Thornton on a non-confidential basis prior to its disclosure by the Village; (ii) is independently developed by Grant Thornton without reference to or use of the Village's Confidential Information; (iii) is or later becomes publicly available without violation of the Engagement; or (iv) is lawfully obtained by Grant Thornton from another party.

Working papers/reports – The advice or opinions of Grant Thornton, including all materials, reports, information, data, and work created, developed or performed by Grant Thornton during the course of the Engagement ("the Grant Thornton Materials") shall belong to Grant Thornton, with the exception of final tax returns, original contracts, other documents of title held to the Village's order and any documents the return of which the Village has stipulated, on or prior to their release to Grant Thornton (the "Village Materials"). Notwithstanding the foregoing, (i) Grant Thornton may

retain a copy of the Village Materials (including Confidential Information) as required by Grant Thornton, in its sole discretion, to meet any obligations imposed by professional standards; and (ii) nothing shall require the return, erasure or destruction of back-ups made in accordance with Grant Thornton's document-retention procedures.

Conflict of interest – Grant Thornton, its associated entities and GT Affiliates are involved in a wide range of financial advisory activities out of which conflicting interests or duties may arise. Within Grant Thornton, its associated entities and GT Affiliates, practices and procedures are maintained to restrict the flow of information and thereby manage or assist in managing such conflicts in a proper manner. Nothing within this Engagement will be interpreted to preclude Grant Thornton, its associated entities and GT Affiliates from engaging in any transaction or representing any other party at any time or in any capacity, provided that Grant Thornton shall not, knowingly provide services to another party under circumstances which would place Grant Thornton in a direct conflict of interest during the term of the Engagement without the Village's prior written consent. In the event Grant Thornton becomes conflicted, as determined in its discretion, Grant Thornton shall be permitted, but not obligated to, terminate this Engagement without any additional liability to the Village, upon fourteen (14) days prior written notice.

Access to and disclosure of information – Grant Thornton is committed to the protection of personal information. During the course of planning, performing and reporting the result of the Services, Grant Thornton, its employees, partners, contractors, consultants, and GT Affiliates may need to obtain, use and disclose Village information (including Confidential Information and personal information) in the possession of, or under the control of the Village. The Village acknowledges this potential use and/or disclosure and agrees that it is responsible for obtaining, where required under applicable law or regulation, a court order or consent from any third party in order to permit Grant Thornton, its employees, partners, contractors, consultants, and/or GT Affiliates, to access, obtain, use and/or disclose Village information (including Confidential Information and personal information) accessed by us or provided to us by the Village or a party authorized by the Village for the purposes of completing the Services, and/or other disclosure so defined within the Engagement or for those additional purposes as more fully explained within Grant Thornton's privacy policy, as it may be amended from time to time and available at www.grantthornton.ca.

Electronic communication – Grant Thornton and the Village may need to electronically transmit confidential information to each other and to other entities engaged by either party during the Engagement. Electronic methods include, but are not limited to telephones,

cellular telephones, electronic mail and facsimiles. These technologies provide for a fast and convenient way to communicate. However, all forms of communications have inherent security weaknesses and the risks of compromised confidentiality cannot be eliminated. Notwithstanding the inherent risks, the Village agrees to the use of such electronic methods to transmit and receive information (including confidential information), between Grant Thornton and the Village and between Grant Thornton and outside specialists, contractors or other entities engaged by either Grant Thornton or the Village. The Village further agrees that Grant Thornton shall not be liable for any loss, damage, expense, inconvenience or harm resulting from the loss, delay, interception, corruption or alteration of any electronic communication due to any reason whatsoever.

The Village also agrees that Grant Thornton professionals shall be authorized to connect their computers to the Village's IT network, subject to any specific restrictions the Village provides to Grant Thornton. Connecting to the Village's IT network or the internet via this network, while at the Village's premises, will be primarily for the purpose of conducting normal business activities, and those relating to the completion of the Services.

Expenses – If applicable, the Village will reimburse Grant Thornton for all reasonable out-of-pocket expenses incurred by Grant Thornton in entering into and performing the Services, whether or not it is completed, including but not limited to, travel, telecommunications costs, fees and disbursements of other professional advisers, and other disbursements customary in engagements of this nature. Normal administrative expenses are charged on the basis of a percentage of professional costs. The administrative fee is equal to 9% of the total professional fees invoiced during the Engagement. All other out-of-pocket expenses will be charged at cost as incurred by Grant Thornton.

Taxes – All fees and other charges payable to Grant Thornton do not include any applicable federal, provincial, or other goods and services tax or sales tax, or any other taxes or duties whether presently in force or imposed in the future. All sums payable to Grant Thornton hereunder shall be paid in full without withholding or deduction.

Billing – All invoices issued by Grant Thornton hereunder are due within 30 days of the invoice date. Interest will be charged on all overdue accounts at a rate of 1.5% per month (18% per annum) until paid. Fees paid or payable to Grant Thornton under this Engagement are non-refundable and shall not be subject to set-off. Unless otherwise directed by Grant Thornton, all fees, expenses and other sums will be billed and payable in Canadian Dollars.

Termination – Either the Village or Grant Thornton may terminate the Engagement upon fourteen (14) days prior written notice to the other party. In addition to the foregoing, Grant Thornton may also terminate the Engagement in the event of a breach of any term of the Engagement by the Village which is not cured by the Village within ten (10) days of receipt of written notice as to the breach. Upon termination for any reason, the parties shall return each other's confidential information, except that Grant Thornton may retain one copy for its working papers and one copy of the Village Data may also be retained by Grant Thornton even if same may contain confidential information of the Village. In addition to its rights of termination provided herein and notwithstanding anything to the contrary in the Engagement, Grant Thornton shall also have the right (i) upon five (5) days prior written notice to the Village, to suspend or terminate its Services in the event the Village fails to pay Grant Thornton any amount due to it under the terms of the Engagement; or (ii) immediately upon written notice to the Village, terminate its Services in the event Grant Thornton discovers any information which Grant Thornton determines, in its sole discretion, may affect its reputation, integrity or independence. In the event of termination, the Village agrees to compensate Grant Thornton for all time expended and costs incurred up to and including the date of termination.

Severability – Each provision of this Engagement is severable and if any provision (in whole or in part) is or becomes invalid or unenforceable or contravenes any applicable regulations or laws, the remaining provisions and the remainder of the affected provision (if any) will not be affected.

Assignment – No assignment shall be made by either party of their respective obligations under this Engagement without the prior written consent of the other party.

Publication – Under no circumstances without the express prior written consent of Grant Thornton, shall the Village disclose, release, use, make reference to, or quote Grant Thornton's name, logo or any Deliverable (whether written or verbal) within any press release, press conference, website update, media release or any other form of public disclosure ("Disclosure Document") other than for litigation purposes, but only to the extent and in the manner that such use is contemplated by the Engagement. In the event the Village wishes to seek Grant Thornton's consent as required by the Engagement, the Village shall provide to Grant Thornton a copy of such Disclosure Document for prior approval, which approval may be unreasonably withheld. As aforementioned, notwithstanding the terms of this paragraph, the Village is not prohibited from disclosing details, including the tax treatment or structure of any transaction, if the transaction or series or transactions would be, or would otherwise be if not for this exception, i) a reportable transaction or an

avoidance transaction, as defined by subsection 237.3(1) of the ITA, or a series of transactions including an avoidance transaction under which a tax benefit to the Village results or would result but for section 237.3(1) of the ITA; ii) a notifiable transaction as defined by 237.4(1) of the ITA; iii) a confidential transaction under section 1079.8.6 of the TA; or iv) any other type of reportable tax avoidance transaction or similar type of transaction requiring disclosure to a taxing authority as defined by any other applicable legislation or regulations.

Village representations, warranties and covenants – The Village represents, warrants and covenants to Grant Thornton that:

- a. the execution, delivery and performance of the Engagement has been duly authorized and does not, and with the passage of time, will not conflict with or violate any contractual, statutory, common law, legal, regulatory or other obligation by which the Village is bound; and
- b. the Engagement is the legal, valid and binding obligation of the Village, enforceable in accordance with its terms.

Grant Thornton representations, warranties and covenants – Grant Thornton represents, warrant and covenants to the Village that Grant Thornton will provide the Services described within the Engagement in a professional and competent manner. Grant Thornton makes no other representation or warranties and explicitly disclaims all other warranties and representations whether expressed or implied by law, usage of trade, course of dealing or otherwise.

Surviving provisions – The Village's obligations in respect of confidentiality, payment of fees and expenses, limitation of liability and Release and Indemnification as outlined within the Engagement and these terms and conditions shall survive termination of the Engagement.

Governing law and forum – The Engagement, including these terms and conditions shall be governed by and construed in accordance with the laws of the Province in which the Engagement was signed by Grant Thornton.

Other matters – The failure of either party to insist on strict performance of the Engagement, or to exercise any option herein, shall not act as a waiver of any right, promise or option, but the same shall be in full force and effect. No waiver of any term or provision or of any breach or default shall be valid unless in writing and signed by the party giving such waiver, and no such waiver shall be deemed a waiver of any other term or provision or any subsequent breach or default of the same or similar nature.

Complete agreement – This Engagement, including these terms and conditions and any schedules, sets

forth the entire understanding of the parties relating to the subject matter hereof and supersedes and cancels any prior communications, understandings, and agreements between the parties. This Engagement may not be amended or modified except in writing between

the parties and shall inure to the benefit of and be binding upon the parties and their respective successors and assigns.



REQUEST FOR COUNCIL DECISION

PREPARED BY: Catherine Allaway, Corporate Officer

DATE: January 5, 2024

SUBJECT: Approving Officer Appointment

PURPOSE: To confirm the appointment of Linda Tynan as the Village's Approving Officer and Chief Financial Officer.

OPTIONS:

Recommendation is indicated in **bold**. Implications are in *italics*.

1. **Make the appointments. *The Village will be able to process subdivision applications and will have a designated CFO.***
2. Do not make the appointments. *No subdivisions will be able to occur, the Deputy CFO will perform CFO duties.*
3. Refer back to staff for further review and report.

RECOMMENDATION:

THAT Linda Tynan be appointed as the Approving Officer and Chief Financial Officer for the Village of Kaslo.

ANALYSIS:

- A. **Background:** The Approving Officer (AO) and Chief Financial Officer (CFO) positions are statutory positions with duties outlined in the *Land Title Act or Community Charter* and the Village's Officer Bylaw. These roles must be assigned by Council resolution.
- B. **Discussion:** The Approving Officer and Chief Financial Officer positions were previously held by CAO Dunlop. The contract with the Interim CAO includes the provision of Approving Officer and CFO duties.

There are currently several active subdivision applications within the municipal boundaries, as well as active planning files that are normally addressed by the staff member in the AO role. Without an AO, this work will be placed on hold.

Although the requirement to have a CFO is currently met since Catherine Allaway was previously appointed as Deputy CFO, the workload for the position justifies the appointment of a dedicated CFO to oversee the year-end and audit preparation work that will occur in the next couple months.

- C. **Attachments:** Municipal Officer Bylaw No. 1265
- D. **Financial Implications:** As the Interim CAO is an independent contractor, additional insurance premiums will be required in order to protect the municipality against liability for errors and omissions. This is estimated to cost a total of \$5,000 over the next 5 years. There is no cost savings associated with appointing only one of the positions.

E. **Corporate Priority:** Nil

F. **Environmental Impact:** Nil

G. **Communication Strategy:** Nil

CAO Approval: [Date approved by CAO]

**VILLAGE OF KASLO
BYLAW NO. 1265**

BEING A BYLAW TO ESTABLISH MUNICIPAL OFFICERS
--

WHEREAS the Community Charter requires the establishment of officer positions by bylaw; and,

WHEREAS the Local Government Act requires the appointment of officers for the purpose of conducting elections; and,

WHEREAS the Land Titles Act requires the appointment of an Approving Officer; and,

WHEREAS Council may provide for the delegation of certain powers, duties and functions, including those specifically established by an enactment, to its officers and employees;

NOW THEREFORE the Council of the Village of Kaslo, in open meeting assembled, enacts as follows:

1. CITATION

1.1. This bylaw may be cited for all purposes as the **“Municipal Officer Bylaw No. 1265”**.

2. GENERAL

2.1. Any enactment referred to in this bylaw is a reference to an enactment of British Columbia and regulations thereto, as amended, revised, consolidated, or replaced from time to time.

2.2. If any part, section, sentence, clause, phrase or word of this bylaw is for any reason held to be invalid by the decision of any court of competent jurisdiction, the invalid portion shall be severed and the decision that it is invalid shall not affect the validity of the remainder which shall continue in full force and effect and be construed as if the bylaw had been adopted without the invalid portion.

3. OFFICER POSITIONS

3.1. The following positions are hereby established as officer positions of the Corporation of the Village of Kaslo:

3.1.1. Chief Administrative Officer

3.1.2. Corporate Officer

3.1.3. Financial Officer

3.1.4. Approving Officer

3.1.5. Chief Elections Officer

4. DELEGATION

4.1. Council hereby delegates powers, duties and responsibilities to the officer positions as set out in the schedules attached to this bylaw.

4.2. In addition to statutory powers, duties and responsibilities, Council may delegate other powers, duties, and responsibilities to an officer:

- 4.2.1. by resolution, to deal with a specific matter that comes before Council; or,
- 4.2.2. by bylaw, to amend the applicable schedule attached to this bylaw.
- 4.3. If this Bylaw delegates a power, duty or responsibility to a named position, the delegation of the power, duty or responsibility is to:
 - 4.3.1. the person who from time to time holds the position;
 - 4.3.2. any person who from time to time is appointed by Council as the deputy of that person; or,
 - 4.3.3. any other person designated by Council to act in the place of that person.
- 4.4. A person to whom a power, duty or responsibility has been delegated under this Bylaw has no authority to further delegate to another person any power, duty or responsibility;
 - 4.4.1. unless the power to delegate is set out in an enactment, *[such as is the case for the Chief Election Officer, see Local Government Act Sec. 59(2)(d)]*.
- 5. OATH OF OFFICE
 - 5.1. The Oath of Office as set out in Schedule "X" to this bylaw is hereby adopted as the oath of office for officers of the Village.
- 6. REPEAL
 - 6.1. Village of Kaslo Officers Bylaw 1003, 2003 is repealed.
- 7. ENACTMENT
 - 7.1. This bylaw shall come into full force and effect upon its final adoption.

READ A FIRST TIME this 13th day of July, 2021.

READ A SECOND TIME this 13th day of July, 2021.

READ A THIRD TIME this 13th day of July, 2021.

RECONSIDERED AND ADOPTED this day of July 27, 2021.

Mayor Hewat

Chief Administrative Officer

Certified correct:

Chief Administrative Officer

**VILLAGE OF KASLO
BYLAW NO. 1265**

SCHEDULE "A" – POWERS, DUTIES AND RESPONSIBILITIES OF CHIEF ADMINISTRATIVE OFFICER

Statutory [*Community Charter Sec. 147*]

- Overall management of the operations of the municipality;
- Ensuring that the policies, programs and other directions of Council are implemented;
- Advising and informing Council on the operation and affairs of the municipality.

General Administration

- Manage the municipal corporation within applicable laws;
- Direct the operation of all Village departments within the corporate policies and budget established by Council;
- Implement Council directives, and;
- Act as the principal intermediary between the Village and the administration of other governments and all other entities dealing with the municipality.

Human Resources

- Supervise all officers of the Village;
- Recommend contract settlements with the union to Council.
- Hire, discipline, suspend or terminate employment of a Village employee;
- Hire, discipline or suspend a Village officer;
- Perform the powers, duties and responsibilities of another officer when the officer is absent or otherwise unable to act or when the office of the officer is vacant;

Legal Advice and Proceedings

- Obtain legal advice, when deemed necessary, for any municipal proceedings;
- Authorize lawyers to defend or conduct any action or proceeding in any court of law or before any tribunal, arbitrator, board, or any person, for or on behalf of the municipality.
- Commence or instruct the Village's solicitors to commence a court application in the Village's name for a civil injunction to enforce a bylaw, including to stop construction of a structure;

Council

- Supervise preparation of Council and committee agendas;
- Have the right to participate in all meetings of Council, Committees of Council and other entities created by Council, as an advisor to same;
- Provide advice and recommendations to Council on any matter within Council's jurisdiction, and;
- Report to Council on any matter of importance to the municipality.

Contracts

- Authorize the use or budgeted purchase/sale of Village facilities, equipment and services;

- Authorize the awarding of contracts for budgeted items, and;
- Supervise the calling and awarding of tenders for the supply of materials, equipment, services or construction approved by Council.

Additional Powers, Duties, Responsibilities

- Oversee the operations of the municipality's information systems, including computer hardware, software programs, and information technology consultants;
- Exercise whatever additional powers and discharge whatever additional duties and responsibilities Council may, from time to time, assign.

**VILLAGE OF KASLO
BYLAW NO. 1265**

SCHEDULE “B” – POWERS, DUTIES AND RESPONSIBILITIES OF CORPORATE OFFICER
--

Statutory [*Community Charter Sec. 148*]

- Ensuring that accurate minutes of the meetings of the council and council committees are prepared and that the minutes, bylaws and other records of the business of the council and council committees are maintained and kept safe;
- Ensuring that access is provided to records of the council and council committees, as required by law or authorized by the council;
- Administering oaths and taking affirmations, affidavits and declarations required to be taken under this Act or any other Act relating to municipalities;
- Certifying copies of bylaws and other documents, as required or requested;
- Accepting, on behalf of the council or municipality, notices and documents that are required or permitted to be given to, served on, filed with or otherwise provided to the council or municipality;
- Keeping the corporate seal and having it affixed to documents as required.

General Administration

- Publication or posting of newspaper or other notices required by an enactment;
- Deposit and registration in the Land Title Office of a permit, bylaw or other record issued by Council or a delegate.

Council

- Attend all Council meetings, and other meetings as directed by the Chief Administrative Officer or Council;
- Fulfil the powers, duties and responsibilities required by the Council Procedures Bylaw;

Additional Powers, Duties, Responsibilities

- Serve as the municipality's Freedom of Information and Protection of Privacy Officer, ensuring information is appropriately handled and distributed, pursuant to the Freedom of Information and Protection of Privacy Act.

**VILLAGE OF KASLO
BYLAW NO. 1265**

SCHEDULE “C” – POWERS, DUTIES AND RESPONSIBILITIES OF FINANCIAL OFFICER
--

Statutory [*Community Charter Sec. 149*]

- Receiving all money paid to the municipality;
- Ensuring the keeping of all funds and securities of the municipality;
- Investing municipal funds, until required, in authorized investments;
- Expending municipal money in the manner authorized by the council;
- Ensuring that accurate records and full accounts of the financial affairs of the municipality are prepared, maintained and kept safe;
- Exercising control and supervision over all other financial affairs of the municipality.

Additional Powers, Duties, Responsibilities

- Obtain and maintain necessary insurance policies for the Village;
- Provide financial reports to Council;
- Prepare and monitor the financial plan for the Village, as required under the Community Charter [*Sec. 165*].
- Prepare and file any documentation necessary under the Financial Disclosure Act, and;
- Engage with the municipality’s auditor to prepare the annual financial statements.

VILLAGE OF KASLO
BYLAW NO. 1265

**SCHEDULE "D" – POWERS, DUTIES AND RESPONSIBILITIES OF
APPROVING OFFICER**

Statutory [*Land Titles Act Sec. 77*]

- Perform the powers, duties and responsibilities of the Village's Approving Officer as set out in the Land Titles Act.

Additional Powers, Duties, Responsibilities

- Act as the Village's Planner, ensuring that all development applications are received and processed in accordance with Council policies and bylaws.

VILLAGE OF KASLO
BYLAW NO. 1265

**SCHEDULE "E" – POWERS, DUTIES AND RESPONSIBILITIES OF
CHIEF ELECTIONS OFFICER**

Statutory [*Local Government Act Sec. 58*]

- Perform the powers, duties and responsibilities as set out in the Local Government Act [*Part 3*], Local Elections Campaign Financing Act, and the Village's Election Procedures Bylaw, for the conduct of the municipal election or by-election.

Additional Powers, Duties, Responsibilities

VILLAGE OF KASLO
BYLAW NO. 1265

**SCHEDULE "F" – POWERS, DUTIES AND RESPONSIBILITIES OF
OATH OF OFFICE**

OATH OF OFFICE

I, _____ do swear/solemnly affirm that:

1. I will truly, faithfully, and impartially, to the best of my knowledge, skills, and ability, execute the office of _____ to which I have been appointed for the Corporation of the Village of Kaslo.
2. I have not received and will not receive any payment, or any promise or reward, for the exercise of any partiality or other improper execution of my office.

Sworn/Affirmed by me, at Kaslo, B.C. on this ____ day of _____, 20__

(Signature of person swearing oath)

(Signature of person administering oath)

Title



REQUEST FOR COUNCIL DECISION

PREPARED BY: Catherine Allaway, Corporate Officer

DATE: January 5, 2024

SUBJECT: Community Development Program Grant Application – Kaslo Baseball & Softball Association

PURPOSE: To consider a request from the Kaslo Baseball & Softball Association for Community Development grant funding.

OPTIONS:

Recommendation is indicated in **bold**. Implications are in *italics*.

1. **Provide conditional approval. *Once the final design is approved by Council the application for funding will be forwarded to the RDCK.***
2. Do not approve the grant funding. *The group will need to find alternate sources of funding for the project.*
3. Refer back to staff for further review and report.

RECOMMENDATION:

THAT the Kaslo Baseball and Softball Association be authorized to submit an application for \$12,000 in Community Development Funding, subject to Council approval of the final design for the ball field improvements.

ANALYSIS:

- A. **Background:** Over the last several years the Kaslo Baseball & Softball Association (KBSA) has brought about significant improvements to the Murray Pearson Memorial Ball Park. The facility is owned by the Village but used intensively by the KBSA for various programs. Recent improvements include installing irrigation, resurfacing the infield and adding fencing and plans to replace the aging dugouts are under development.

At the 2023.11.14 Council meeting the following resolutions were adopted:

318/23	THAT Council approve allowing the Kaslo Baseball and Softball Association (KBSA) to proceed with a grant application for renovations to the outfield of the Murray Pearson Memorial Ball Field;
319/23	THAT staff be directed to investigate and report back on the closure of the D Avenue road allowance between First and Second Street for dedication to parkland; and,
320/23	THAT KBSA provide plans for the proposed ballfield improvements for the approval of Council.

At the 2023.12.12 Council meeting the following resolution was adopted:

THAT consideration of the Kaslo Baseball & Softball Association's request be referred to the 2024.01.09 Council meeting.

As authorized by resolution 318/23 the KBSA has applied to the RDCK for funding from the Area D Community Works Fund. The KBSA is also seeking financial assistance from the Village of Kaslo through the Community Development Program (CDP) administered by the RDCK. A Council resolution is required to authorize the application for CDP funding.

- B. **Discussion:** Staff requires additional time to complete the report on the closure of D Avenue referenced in resolution 319/23 – this information is required before Council can make a final decision regarding the proposed layout of the ball field improvements. At this time, Council is being asked to confirm their financial support for the project for budget purposes but it is important to note that adopting the recommendation does not guarantee access to the funds for the KBSA. Even if approval in principle is given, the funding application will not be forwarded to the RDCK until Council has considered the forthcoming report on the D Avenue closure and adopted a resolution approving the final layout for the proposed ball field improvements, as per resolution 320/23..

At the 2023.12.12 meeting, concerns about the project were received from D. Apple. Since then, Mr. Apple has met with the KBSA to discuss the issues, and the associated correspondence is attached for Council's information.

C. **Attachments:**

- KBSA Application for CDP funding
- 2023.12.04 Correspondence from D. Apple
- 2023.12.10 Correspondence from M. Brown
- 2023.12.27 Correspondence from D. Apple

- D. **Financial Implications:** Approximately \$6,000 of in-kind Village public works crew time and equipment is anticipated towards the installation of the new fencing, scoreboard and electrical. This is in addition to the \$12,000 of CDP funding that is being requested by the KBSA. The KBSA has sought \$20,000 in funding from Area D towards the project.

- E. **Corporate Priority:** Considering long-term planning and objectives for Vimy Park, Campground, Logger Sports and adjacent beaches is a corporate strategic priority.

- F. **Environmental Impact:** Nil

- G. **Communication Strategy:** Nil

CAO Approval: [Date approved by CAO]



Community Development Grant Application Form

REGIONAL DISTRICT OF CENTRAL KOOTENAY

202 Lakeside Drive, Box 590, Nelson, B.C. V1L 5R4
 Phone 250-352-6665 Fax 250-352-9300
 Toll Free in B.C. 1-800-268-7325

FILE NO. 1865-20-___

Contact Information:

Note: Applicants are encouraged to discuss their project with the applicable RDCK elected official prior to submitting their grant application.

Organization/Society Name: Kaslo Baseball & Softball Association	Date of Application: Nov. 27, 2023
Contact Name: MATTHEW BROWN	RDCK Electoral Area/Member Municipality: <input type="checkbox"/> RDCK Electoral Area: <input checked="" type="checkbox"/> Municipality: Village of Kaslo
Mailing Address: P.O. Box 392, Kaslo, B.C. V0G 2M0	Payment Type: <input checked="" type="checkbox"/> Electronic Fund Transfer <input type="checkbox"/> Mailed cheque
Phone #: 250-353-8624	Email: kasloyouthbaseball@gmail.com

Project/Service Description

Please provide an overview of the project and/or service and how the funds will be used. (600 characters max.)
 Attach any supporting documentation such as engineering reports, feasibility studies, and budget documents. All applicants must submit their organization's list of directors showing their respective executive positions, plus overall number of members. Grant requests exceeding \$5,000 must be accompanied by your organization's most recently approved financial statements.)

SEE ATTACHED DOCUMENT

Grant Application

Total Grant Requested: \$ 12,000	Which funding criterion objective does this project meet? <input checked="" type="checkbox"/> Social <input checked="" type="checkbox"/> Economic <input type="checkbox"/> Environmental
Other Funding Sources - Identify all sources of project funding and amounts. Both funds requested and received: RDCK COMMUNITY WORKS GRANT APPLIED FOR, \$20,000.00	
Previous Community Development Grants Received – Year and Amount:	

By submitting this application for the Community Development Grant, I confirm I am an authorized signatory of the recipient organization and I agree to the Community Development Grant Recipient Obligations detailed on page two of this application.

_____ Signature	MATTHEW BROWN _____ Print Name
--------------------	--------------------------------------

Authorization

Signature of Area Director	Total Grant Approved \$
Board Approved Date:	Resolution #



COMMUNITY DEVELOPMENT PROGRAM REGIONAL DISTRICT OF CENTRAL KOOTENAY

COMMUNITY DEVELOPMENT GRANT RECIPIENT OBLIGATIONS

The Recipient shall:

- (a) Use the funding received from the RDCK substantively in accordance with the purposes, methodologies and timeframes described in the funding application. Significant changes to project scope or budget require RDCK approval.
- (b) Comply with all applicable laws and adhere to good business practices in delivering the project or service funded through the community development program grants.
- (c) Unless agreed otherwise by the RDCK, retain ownership to all assets acquired or intangible property created with the funding provided by the RDCK.
- (d) When requested, co-operate with the RDCK in making public announcements regarding the projects or services funded by the RDCK.
- (e) Use the RDCK 's logo in any communications acknowledging the financial contribution of the RDCK and comply with the graphic standards and any conditions communicated by the RDCK.
- (f) Acknowledge that the Recipient and the RDCK are independent contractors, and nothing in the provision of the grant funding by the RDCK is intended to create any joint venture or agency relationship between the two parties. Neither party may purport to create or assume any obligation on behalf of the other.
- (g) Indemnify and save harmless the RDCK, its employees and agents, from and against any and all losses, claims, damages, actions, causes of action, cost and expenses that the RDCK may sustain, incur, suffer or be put to at any time either before or after the projects or services funded by the RDCK are complete, if the same or any of them are based on, arise out of or occur, directly or indirectly, by reason of any act or omission of the Recipient, or of any agent, employee, officer, director or sub-contractor of the Recipient pursuant to this Agreement, excepting always liability arising out of the independent negligent acts of the RDCK.
- (h) Within one year of grant award, submit a report to the RDCK which details how the funds were expended. Loss of eligibility for future Community Development grants may result from failure to submit required reports.
- (i) Where the grant award exceeds \$5,000 in total value, enter into a formal Funding Agreement with the RDCK.

Project Description:

The project will be to install the following:

Digital Scoreboard installed in center field w/ signage reading "Murray Pearson Memorial Field" attached

Batting Cage w/ pitching machine built to be removable so that in the offseason it can be stored to both keep it in good condition and to leave a clean space when not being used. This will include the cage frame (removable), the netting, the matting for the ground, and the pitching machine.

Outfield fence to section off an area to install the batting cage and scoreboard. A six foot fence will be installed to act as an outfield fence in center field. This will provide a space beyond this new centerfield fence, yet within the perimeter boundary fence where we can install a batting cage without affecting the use of the field or leaving the footprint designated for baseball/softball.

Electric run to the outfield area where the batting cage and the scoreboard will be housed. This will be run from an existing box near the site and has been looked at by the Village Public Works Foreman as well as a local certified electrician from Pace Electric.

This project will have a huge impact in our community as well as RDCK Area D. We currently have nearly 50 youth every year from Kaslo and Area D that participate in youth baseball, with growth year over year. We also have an adult Slo-Pitch League that has over 150 players with potential for significant growth in the coming years as interest in this league is very strong.

By installing this addition to the outfield fence we are supplying an area to build a batting cage, and future bullpen within the footprint of the field, but outside of the playing field. Currently when we want to perform batting drills we are unable to utilize the rest of the field for other drills as the ball could potentially travel to any part of the field and risk the safety of the players. All eyes must be on the batter/pitcher when there are batting drills happening. This can lead to a lot of standing around for young kids which can lead to a loss of attention or interest. By having a designated safe place to practice hitting this opens the rest of the field for other drills with fielders, pitchers and catchers to happen simultaneously. This also provides batters a place to focus on their hitting skills utilizing a pitching machine designed to improve their skills including timing, hand-eye coordination and other fine aspects of hitting. This will not only improve the skills of players, but also offer a safe place to practice hitting without concern of balls coming at them from other drills. We have been to other communities with batting cages (Nelson, Cranbrook) and seen the huge impact that this has on the development of their players. It is a game changer.

The addition of the Scoreboard will be a huge benefit for not only the baseball/softball community, but the community at large. Currently we have no means of consistently keeping

score. Often teams and spectators are asking the questions: what is the score, how many outs are there, and what inning are we in? By adding a scoreboard we are providing players and spectators the necessary information to engage in the game fully. This will provide our community the opportunity to start to host Tournaments at the field which can be a significant economic driver in our community as when other communities players and families are in our Village for the weekend they will need accommodations, and will be patrons of our restaurants and local businesses. I can easily foresee hosting 2 to 3 tournaments a year between the youth and adults and that is a conservative estimate.

KING ROAD

284 FT.

VEHICLE ACCESS →

PEDESTRIAN ACCESS →

BATTING CAGE

70 FT.

14 FT.

SCORE BOARD

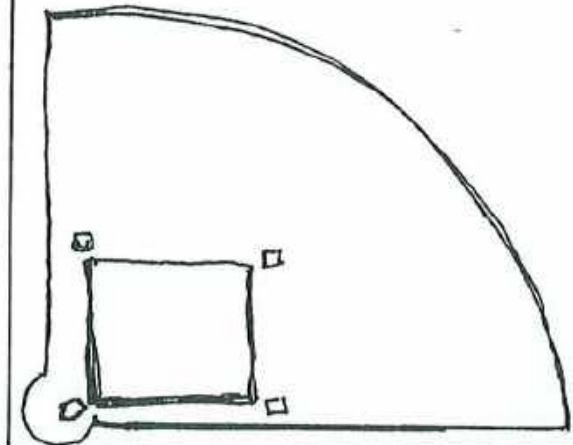
PEDESTRIAN ACCESS GATE

262 FT

← VEHICLE ACCESS

← PEDESTRIAN ACCESS

2ND STREET



1.4 Project Team and Qualifications

This project will be undertaken by the Village of Kaslo in coordination with the Kaslo Baseball and Softball Association. Working in partnership together we have raised and invested over \$60,000 in the last five years to upgrade and enhance Murray Pearson Memorial Field. These upgrades include new perimeter fencing, expanded infield with red shale replacing the former dirt field, sod in the infield, irrigation lines installed throughout the entire field, as well as reseeding and leveling of the outfield. We have a great working history with the Village and the Village Public Works crew is very capable and qualified to perform all of the work necessary. For the electric work we have engaged Pace Electric to perform the electrical work required. Pace Electric is owned by Colin Anderson who was raised here in Kaslo playing ball and is very familiar with the electrical layout of the Vimy Park. I have met with Colin and Village of Kaslo Public Works foreman Geoff Scott and we have all agreed that this would be a great partnership and all of the required qualifications and team members are on board.

(If needed, please provide additional information on separate page)

2.0 Project Budget

List anticipated and confirmed Project revenue and expenses that have been deemed necessary for the implementation of the Project. Schedule B outlines eligible costs for eligible recipients (see attached).

Project Revenue (Capital, Professional, Environmental Assessment, Employee, Equipment, Incremental)		
Item	Description of Revenue	Value (\$)
RDCK - Community Works Grant		\$ 20,000.00
VOK Community Development Grant		\$ 12,000.00
VOK In-kind contribution	Labor	\$ 7,500.00
		\$
		\$
		\$
(If needed, please see page 7 to provide additional budget information)	Sub-Total Project Revenue	\$ 39,500.00
Project Expenses (Capital, Professional, Environmental Assessment, Employee, Equipment, Incremental)		
Item	Description of Expenses	Value (\$)
Hack Attack Pitching Machine	Pitching Machine for Batting Cage	\$ 5,700.00
70'Lx14'Wx12'H w/ Entry Flap & Baffle	Batting Cage Netting	\$ 1,565.00
Removable 12' posts w/ sleeve plate	Removable 12' posts w/ sleeve plate	\$ 3,349.00
15X70 Sporturf PL357 Outdoor Batting	Batting Cage Outdoor Turf	\$ 4,725.00
Taxes & Shipping	Freight, Shipping & Handling, GST	\$ 1,928.00
(If needed, please see page 7 to provide additional budget information)	Sub-Total Project Expenses	\$ 17,267.00

Community Works Fund Application (Appendix-A)

Project Revenue (continued)		
(Capital, Professional, Environmental Assessment, Employee, Equipment, Incremental)		
Item	Project Revenue	Value (\$)
		\$
		\$
		\$
		\$
		\$
		\$
		\$
		\$
		\$
		\$
	Total Project Revenue	\$ 39,500.00
Project Expenses (continued)		
(Capital, Professional, Environmental Assessment, Employee, Equipment, Incremental)		
Item	Description	Value (\$)
100' of 6' fencing w/ all necessary part	100' of 6' fencing for the outfield fence	\$ 2,033.00
		\$
Nevco - 1610W (w/o Pitch Counter)	Digital Scoreboard	\$ 10,930.00
Electrical	Material, Labor & Permits	\$ 2,738.00
		\$
		\$
		\$
		\$
		\$
		\$
		\$
		\$
		\$
		\$
		\$
	Total Project Expenses	\$ 32,968.00

Profit and Loss

Kaslo Baseball and Softball Association

Date Range: Jan 01, 2023 to Nov 23, 2023

ACCOUNTS	Jan 01, 2023 to Nov 23, 2023
Income	\$50,800.84
Cost of Goods Sold	\$0.00
Gross Profit As a percentage of Total Income	\$50,800.84 100.00%
Operating Expenses	\$24,865.38
Net Profit As a percentage of Total Income	\$25,935.46 51.05%

Balance Sheet

Kaslo Baseball and Softball Association

As of Nov 23, 2023

ACCOUNTS	Nov 23, 2023
Assets	
Total Cash and Bank	\$27,955.08
Total Other Current Assets	\$0.00
Total Long-term Assets	\$0.00
Total Assets	\$27,955.08
Liabilities	
Total Current Liabilities	\$0.00
Total Long-term Liabilities	\$0.00
Total Liabilities	\$0.00
Equity	
Total Other Equity	\$0.00
Total Retained Earnings	\$27,955.08
Total Equity	\$27,955.08

Cash Flow

Kaslo Baseball and Softball Association

Date Range: Jan 01, 2023 to Nov 23, 2023

CASH INFLOW AND OUTFLOW

Jan 01, 2023
to Nov 23, 2023

Operating Activities

Sales	\$50,800.84
Purchases	-\$24,865.38
Net Cash from Operating Activities	\$25,935.46

Investing Activities

Net Cash from Investing Activities	\$0.00
---	---------------

Financing Activities

Net Cash from Financing Activities	\$0.00
---	---------------

OVERVIEW

Starting Balance	\$2,019.62 As of 2023-01-01
Gross Cash Inflow	\$50,800.84
Gross Cash Outflow	\$24,865.38
Net Cash Change	\$25,935.46
Ending Balance	\$27,955.08 As of 2023-11-23



Box 12435
 Lloydminster, AB
 T9V 3C6
 GST/HST No. 809998677

Quote

Date	Quote #
2023-11-23	1452

Name / Address
Kaslo Minor Ball Att: Matt Brown Box 392 Kaslo, BC V0G 1M0

Description	Qty	Cost	Total
Commercial Cage Nets - Net Only 70'Lx14'Wx12'H - \$1,565.00 + GST -includes entry flap & Baffle Net	1	1,565.00	1,565.00
Hack Attack Pitching Machine 3 wheel design allows the hitter to see the ball clearly all the way through the feeding motion, acceleration and release, just like with a live pitcher. Throws pitches 60 feet @ 100+ MPH. Machine comes fully assembled, including baseball legs. Machine weighs 160 lbs with legs, 145 lbs. without legs.	1	5,700.00	5,700.00
Sporturf PL357 - Batting Cage Turf - 3MM - Field Green - 15'W x 70'L - Perforated for outdoor use	1,050	4.50	4,725.00
Freight/Shipping & Handling GST on sales	1	1,265.00 5.00%	1,265.00 662.75

Priced in Canadian dollars.
 Includes all customs and clearance charges.
 Freight quotes valid for 30 days.
 Customer has 30 days after delivery to report deficiencies or inadequacies.

Subtotal	\$13,255.00
GST	\$662.75
Total	\$13,917.75

Phone #	E-mail	Web Site
780-875-7236	westernpro@shaw.ca	www.westernpro.ca



QUOTE

Kaslo Minor Baseball Association

Date
22 Nov 2023

Expiry
22 Dec 2023

Quote Number
QU-0508

Reference
Score board and batting cage
outlets

GST
72333 2888 RT0001

Pace Electric
Attention: Colin Anderson
116 5th Ave
CASTLEGAR BC V1N 1V3
CANADA
(250) 304-8930
info@paceelectric.ca

Description	Quantity	Unit Price	Tax	Amount CAD
Permit	1.00	287.00	5%	287.00
Hourly Labour, Journeyman	4.00	80.00	5%	320.00
Material	1.00	2,000.00	5%	2,000.00
			Subtotal	2,607.00
			TOTAL GST COLLECTED 5%	130.35
			TOTAL CAD	2,737.35

Terms

Material and labour to wire Outlets as discussed



Rite-Way Fencing (2000) Inc. Phone: (250) 491-9174
 3535 Alcan Road Toll Free: (877) 422-3699
 Kelowna, BC V1X 7R3

RITE-WAY
 FENCING INC.

Quotation

Customer:

Kaslo Building Supplies
 6521 Highway 31
 P.O. Box 1150
 Kaslo, BC V0G 1M0
 Attn: Jo
 250-353-7628
 Re: TAG VILLAGE OF KASLO - BALLPARK - 6' OPTION

Quotation # LN36608
 Quotation Date 11/16/2023
 Reference Number
 Sales Representative Lori Nell
 Weight 916.7 lbs.
 Fax or Email jo.davie@kaslobuilding.com

CHAIN LINK MESH

100 foot 72" X 2" X 9 GA. GALVANIZED MESH - KK

PIPE

5 each PIPE 1 5/8" SS 40 PIPE GALVANIZED 21 FT.
 4 each PIPE 3 1/2" SS 40 PIPE GALVANIZED 9 FT.

CHAIN LINK FITTINGS

8 each 3 1/2" BRACE BANDS - GALVANIZED
 4 each 3 1/2" DOME CAPS - DIE CAST ALUMINUM
 8 each 1 5/8" RAIL ENDS - PRESSED STEEL
 4 each 1 5/8" SLEEVES GALV. SLEEVES
 8 each 70" TENSION BARS GALVANIZED 3/4" INDUSTRIAL
 64 each 5/16" X 1 1/4" GALVANIZED c/w nuts CARRIAGE BOLTS

MATERIALS ONLY - FOB KELOWNA
 QUOTATION IS VALID FOR 10 DAYS

GST @ 5.00%

Total : \$2,032.⁹⁹



rite-way fencing (2000) inc. phone: (250) 836-5121
 3535 Alcan Road Toll Free: (877) 422-3890
 Kelowna, BC, V1X 7K3

RITE-WAY FENCING INC.

Quotation

Customer:

Kaslo Building Supplies
 6521 Highway 31
 P.O. Box 1150
 Kaslo, BC V0G 1M0
 Mike Jo
 250 833 5678
 Re: LACE VILLAGE, OF KASLO - HALE PARK - OPTION

Quotation # 1 N36609
 Quotation Date 11/16/2023
 Reference Number
 Sales Representative Lori Sell
 Weight 334.0 lbs.
 Fax or Email go.lavie.kaslobuilding.com

CHAIN LINK MESH

100 foot 48" X 2" X 9 GA GALVANIZED MESH

PIPE

5 each PIPE 1 5/8" SS 40 PIPE GALVANIZED 21 FT.
 4 each PIPE 3/4" SS 40 PIPE GALVANIZED 7 FT.

CHAIN LINK FITTINGS

5 each 3 1/2" BRACE BANDS GALVANIZED
 4 each 3 1/2" DOME CAPS - DIE CAST ALUMINUM
 8 each 1 5/8" RAIL ENDS - PRESSLD STEEL
 4 each 1 5/8" SLEEVES GALV SLEEVE
 8 each 46" TENSION BARS GALVANIZED 3/4" INDUSTRIAL
 64 each 5/16" X 1 1/4" GALVANIZED C/W NUTS, CARRIAGE BOLTS

MATERIALS ONLY - TO BE KEPT OWNED
 QUOTATION IS VALID FOR 10 DAYS

GST @ 5.00%

Total

\$1,666.99



NEVCO

QUOTATION

Account Name	Kaslo Youth Baseball	Created Date	11/6/2023
Quote Number	00159545	Expiration Date	12/6/2023
Contact Name	Matthew Brown	Prepared By	John Schmidtke
Title	President	Title	Display and Scoring Consultant
Phone	(250) 353-8624	Phone	(618) 664-0360
Email Address	kasloyouthbaseball@gmail.com	Fax	(618) 664-0398
		Email Address	jschmidtke@nevco.com

Quantity	Model/Part #	Product Description	Dimensions L x H x W/D	Total Price
1.00	1610-W	Baseball/Softball LED Scoreboard with All-White Digits	10'x4"x8"	CAD 5,689.80
1.00	ADO 10-2	Non-illuminated Outdoor Sign	10'x2'	CAD 932.40
1.00	802-0300 - MPCX2 Baseball/Softball	Wireless Handheld Control	0.3'x0.5'x0.1'	CAD 477.00
1.00	MPCX2 Rec - Outdoor x6xx	In-board Wireless Receiver Kit		CAD 810.00
1.00	MPCX/MPCX2 Case	MPCX/MPCX2 Control Carrying Case (holds 2 controls)	12.4'x8"x4"	CAD 49.50

Ttl Shipping Wt (lbs)	350	Subtotal	CAD 7,958.70
Sales Tax Rate	12.000%	Freight	CAD 1,800.00
County	West Kootenays	Tax	CAD 1,171.04
		Total (\$CND)	CAD 10,929.74

Due to supply chain issues resulting from the pandemic, freight pricing and anticipated schedule for delivery along with performance of services are subject to change.

Customers who purchased items in this quote also purchased the following:

Stadium Pro Sound Series



- Stadium Pro 1000 series and Stadium Pro 2000 series available
- Custom designed for the athletic market to provide complete coverage
- Single-point sound source system located at scoreboard
- Speakers and subwoofers will deliver clear, intelligible voice and concert quality music at high decibel levels throughout your facility
- 5 Year Warranty on loudspeakers and custom designed speaker cabinet

NEVCO

QUOTATION

Electronic Team Names (-TN)



- Customize the team names
- Easily changed from game to game
- Program team names using the console control
- Bright, long-lasting, energy-efficient LED
- Perfect for Multi-team Complexes or facilities that host Tournaments
- Available on most models

Message Centers



- Flexible advertising solution
- Exciting in-game animations
- Display additional stats and player info
- Long-lasting LED technology
- Full color and monochrome (red or amber)
- Many sizes to fit your scoreboard and venue

Extended Warranty



- Additional protection for 24 months
- Same terms as the included 5-year warranty
- Available for indoor or outdoor scoreboards
- Longest warranty available in industry

Pitch Counter Display



- Comply with league pitch count rules
- Prevent arm injury or fatigue
- Hand-held Wireless operation
- Connects with Nevco scoreboard controls
- Mounts next to new or existing scoreboard
- Multiple sizes and colors available

Pitch Timer Display



- Wireless operation
- Set any time up to 199 seconds
- Includes horn
- Track time in between pitches or innings
- Comply with NCAA regulations
- Reduce overall game time



NEVCO

QUOTATION

Solar Power Kit



- Reduce installation costs
- Install "off-grid" scoreboards and accessories
- No wires, No electric bills.
- Built-in battery charge meter
- Designed for all weather conditions
- No Trenching. No boring. No overhead lines.
- Complies with NEC standards Section 690

Billing/Shipping Information

Bill To Name	Kaslo Youth Baseball	Ship To Name	Kaslo Youth Baseball
Bill To	Kaslo, BC 010 Canada		

Quote Terms and Conditions

The above pricing is for equipment only and does not include installation (unless specified) or taxes (if applicable). Unless shown specifically in the quote, shipping is an additional cost and is not included. Due to the custom nature of our products, our preferred payment terms are 50% down and remaining balance net 30. Additional payment terms available upon credit review. Shipping terms are F.O.B. Greenville, IL USA.

All Scoreboards and Message Centers are UL Listed and most come with our free 5-year guarantee (Exception: Special promotion/packages may have shorter warranty and are noted in product descriptions). Portable Production Kits carry a 3-year guarantee. Wireless components and Solar Power Kit carry a 2-year guarantee. Hand-held controls, switches and printed scrims carry a 1-year guarantee. Performance and Payment Bonds, if required, will include a one-year warranty after substantial completion.

STATE TAX EXEMPT FORM MUST BE SUBMITTED WITH ORDER OR TAXES WILL BE INVOICED.

Scoreboards are available in 15 standard colors at no extra charge. Please contact your consultant for production/shipping lead times.

Purchase Order Address	Nevco Scoreboard Company ULC 606B-55, Cedar Pointe Drive Barrie, ON L4N 5R7	Remit To Address	Nevco Scoreboard Company ULC P.O. Box 57339, STN A Toronto, ON M5W 5M5 800.461.8550 / 705.325.4005
------------------------	---	------------------	---

Quote Acceptance

Signature _____ Title _____
 Name _____ Date _____



QUOTATION

Sold to
 KASLO BASEBALL ASSOCIATION
 KASLO
 V0G 1M0 (250) 353-3409

Ship to
 KASLO BASEBALL ASSOCIATION
 KASLO
 BC
 V0G 1M0 (250) 353-3409

Date
 11/10/2023
 11:08:29 AM
Order 0011336
Salesperson Jo D. **Page** 1

Customer KASBAS
Reference Fencing Quote
Purchaser Jo/Matt

Item	Description	Quantity	U/M	Unit price	Amount
MISC	Quote 15pcs of 12' post 10pcs of 4' inground sleeves	1.000		2989.990	2989.99 FP

I agree to pay a 2 % monthly late fees on every past due account. Any purchased merchandise remains the property of the retailer until it is paid in full.
 Any claim should be done within 30 days of the purchase. Returned special orders are subject to acceptance by the store and to returning fees

(122373905)	Sub total	2989.99
(122373905)	G.S.T. 5%	149.50
	P.S.T. 7%	209.30
	Total	3348.79



Thank you for visiting our store!

We look forward to serve you soon!

QUOTATION

Customer

Kaslo Building Supplies (1990) Ltd
 6521 Highway 31 (Po Box 1150)
 Kaslo (British Columbia)
 V0G 1M0

Phone (250) 353-7628

info@kaslobuilding.com
 kaslobuilding.com



QUOTATION

Sold to
 KASLO BASEBALL ASSOCIATION
 KASLO
 V0G 1M0 (250) 353-3409

Ship to
 KASLO BASEBALL ASSOCIATION
 KASLO
 BC
 V0G 1M0 (250) 353-3409

Date	11/10/2023 11:05:19 AM	Order	0011335
Salesperson	Jo D.	Page	1

Customer	KASBAS
Reference	Quote
Purchaser	Jo/Matt

Item	Description	Quantity	U/M	Unit price	Amount
MISC	Fencing Quote 10pcs of 14' post 5pcs of 12' post	1.000		2622.990	2622.99 RP

I agree to pay a 2 % monthly late fees on every past due account. Any purchased merchandise remains the property of the retailer until it is paid in full

Any claim should be done within 30 days of the purchase. Returned special orders are subject to acceptance by the store and to returning fees.

	Sub total	2622.99
(122373905)	G.S.T. 5%	131.15
(122373905)	P.S.T. 7%	183.61
	Total	2937.75



Thank you for visiting our store!
 We look forward to serve you soon!

QUOTATION

Customer



2023.11.16

Certified to be a true resolution adopted by the Council of the Village of Kaslo at their November 14, 2023 Regular Meeting:

318/2023

Kaslo Baseball and Softball Association Request

Moved, seconded, and CARRIED

THAT Council approve allowing the Kaslo Baseball and Softball Association (KBSA) to proceed with a grant application for renovations to the outfield of the Murray Pearson Memorial Ball Field.

A handwritten signature in black ink, appearing to read "Ian Dunlop".

Ian Dunlop
Chief Administrative Officer

From: [Derek Apple](#)
To: [Mayor Hewat](#); [Erika Bird](#); [Matthew Brown](#); [Molly Leathwood](#); [Rob Lang](#)
Cc: [Karissa Stroshein](#)
Subject: Proposed changes to park land
Date: December 4, 2023 10:59:49 AM

Dear Members of Council:

It is our understanding that consideration is being given to proposed changes to the park land/ballpark and D. Avenue that include building a batting cage on the southeast corner of the park and closing the current pathway which is the bottom end of D Avenue. As a property owner whose home borders the park and whose legal address is D Avenue, we have questions regarding how these changes could affect the homeowners along this stretch and all Kaslo residents/taxpayers in general.

- 1. Safety-Personal and Property:** The current usage of softball is completely within safe playing limits. Balls over the fence hit from homebase do not create a risk to personal safety or cause property damage. Hardball is a different game to softball and carries potential risk if due diligence and careful planning are not exercised in the building of a batting/pitching cage. Historical knowledge of hardball from previous residents of 145 D. Ave. indicates safety concerns. Don Paige was struck by a hardball while working on a ladder. Their children were not able to play in their yard during practices and games due to errant and home run balls. We experienced an episode during the Women's Home Run Derby last fall where batters were lined up at second base so as to directly hit balls over the fence into residential properties. A ball that cleared the fence came halfway into our backyard slamming into our BBQ and narrowly missing the head of a guest who was sitting at our patio table. This would have caused significant harm to this person. Although this incident involved softball it does underscore the significance of safety and liability.
- 2. D Avenue:** What are the legalities regarding closing D Avenue (public thoroughfare) and redesignating it as parkland? If D Avenue is the legal address for the five properties along this stretch which would become parkland, how would this legally impact the addresses? There are already some safety concerns having D. Ave. as an address, case in point: being that last winter we called 911 for an emergency and were told that our address did not show up on their database.
- 3. Pathway and Inclusion:** What are the proposed changes to the pathway? This pathway is well used on a daily basis by pedestrians, dog walkers and cyclists. The path provides a flat, safe, gravelled, and direct route for multiple types of users to access beaches, trails and the skatepark. In particular this pathway is beneficial for those who have mobility challenges and young families as the surrounding streets are potholed and busy during peak times. Hopefully the pathway will be improved so that it continues to be inclusive for all users. Furthermore, as this is a public thoroughfare should the public not have input to any changes?

We thank you for consideration of these points and look forward to council's recommendations.

Truly,
Jan and Derek Apple


Kaslo

From: [Matthew Brown](#)
To: [Ian Dunlop \(CAO Kaslo\)](#); [Catherine Allaway](#)
Subject: Baseball Field Renovation Solutions & Community Engagement
Date: December 10, 2023 3:53:35 PM

Hello,

I am writing to you in response to the email from Derek Apple.

I agree with the concerns that Derek has stated and believe they need to be addressed.

I would look forward to the opportunity for the KBSA board and/or myself to meet with Derek and talk about possible solutions to address these valid concerns, and to come up with solutions that the community could get on board with.

In response to his concerns these are my thoughts.

1. I would suggest a netting that is similar to the netting installed along the Vimy Park side of the field be installed above the existing 8 foot fence to the same height as the current netting in leftfield by the playground. That would eliminate the safety issue of balls going into peoples yards and putting property and people in danger. This is something that KBSA has considered and we have spoken with the village public works about where they procured the netting so that we can consider purchasing more. This would be seasonal and taken down when the left field netting comes down at the end of the ball season.
2. My understanding was that in closing D ave., a new road would be created for the residents that currently have an address on D Avenue. This would hopefully eliminate the safety concerns of not being able to locate an address and confusing emergency services.
3. The batting cage designs presented need to be built to ensure that the current access that exists to, and through the field would remain. The current plan does take that into account, however the batting cage does not need to be placed along D ave. Instead it could be along the outfield fence opposite of May Days Vendors closer to the skatepark, as there is 70 feet there as well that has been identified as an alternate location to ensure access through is not inhibited. Public works has sprayed a few points identifying two potential sites for the batting cage. I think the public should certainly have a voice in the changes that would happen and welcome discussion to find a solution that works well for all community members.

Thank you for your time and I look forward to discussing this matter further to find the best solution for the community.

Matthew Brown
KBSA board member
Kaslo Youth Baseball

From: [Derek Apple](#)
To: [Mayor Hewat](#); [Erika Bird](#); [Molly Leathwood](#); [Rob Lang](#)
Cc: [Matthew Brown](#); [Karissa Stroshein](#)
Subject: Baseball field development
Date: December 27, 2023 12:47:54 PM

Hello Members of Kaslo Council:

We would like to let you know that we met with Matthew Brown regarding proposed baseball field developments. We felt the meeting was very productive and we felt heard such that our concerns were addressed (safe play for all and access to the D.Ave. pathway for foot traffic). We appreciate Matthew's offer to keep the lines of communication open. All are in agreement that baseball is a healthy activity which benefits the entire community.

Regards
Jan and Derek Apple

