



REGULAR MEETING OF COUNCIL AGENDA

DATE: 2024.03.12

LOCATION: Council Chambers – City Hall

TIME: 6:00 p.m.

413 Fourth Street, Kaslo

1. Call to Order

2. Adoption of the Agenda

2.1 Addition of late items, if any

2.2 Adoption of the agenda

RECOMMENDATION:

THAT the Agenda for the 2024.03.12 Council Meeting be adopted as presented.

3. Adoption of the Minutes

3.1 Corrections to the minutes, if any

3.2 Adoption of the minutes

RECOMMENDATION:

THAT the Minutes of the 2024.02.27 Council Meeting be adopted as presented.

4. Delegations – Nil

5. Information Items

5.1 Council Reports

5.1.1 Mayor's Report

5.2 Committee Minutes – Nil

5.3 Staff Reports

5.3.1 CAO Report

5.3.2 Planning Report – DP 2024-02 (415 Front Street)

5.3.3 Planning Report – DP 2024-03 (425 Front Street)

5.4 Correspondence

5.4.1 2024.02.29 from RDCK re Emergency and Disaster Management Act

5.4.2 2024.02.28 Kootenay Regional Film Commission – Film Liaison Enquiry

5.4.3 2024.02.28 P. Trotter/M. Poulin – Legacy Park Art

5.4.4 Federal GIBC Grant Program – Decision re: New Kaslo and District Public Library

5.4.5 2024.02.29 CMHC – Decision re: Housing Accelerator Fund

5.4.6 2024.02.16 J. Lukacs – Letter of Resignation (Recreation Grants Committee)

5.4.7 2024.02.24 P. Trotter/M. Poulin re South Beach

5.4.8 2024.02.25 K. Pidcock re South Beach

5.5 2024.03.12 Circulation Package

6. Question Period

An opportunity for members of the public to ask questions or make comments regarding items on the agenda.

7. Business

7.1 Fees & Charges Amendment Bylaw 1301, 2024

To correct an error in the Business Licence fees listed in Fees and Charges Bylaw 1300

RECOMMENDATION:

THAT Fees and Charges Amendment Bylaw 1301, 2024 be adopted.

7.2 Encroachment Agreement - 415 Front Street

To consider authorizing the installation of a light fixture that overhangs the Village sidewalk at 415 Front Street.

RECOMMENDATION:

THAT the Corporate Officer is authorized to sign an encroachment agreement between the Village of Kaslo and the owners of 415 Front Street, to allow building elements to project over the municipal sidewalk.

7.3 Contract Planning Services

To consider contracting with Dun-Map Inc. to complete updates to the Village's Official Community Plan and Zoning Bylaw.

RECOMMENDATION:

THAT the Village of Kaslo contract with Dun-Map Inc. to prepare a revised Zoning Bylaw and updates to the Official Community Plan, as outlined in the proposal dated March 1, 2024, at a cost not to exceed \$29,000 + GST.

7.4 FireSmart Fuel Treatment

To consider selecting contractors to complete grant-funded FireSmart treatments on municipal land.

RECOMMENDATION:

THAT the Village of Kaslo contract with _____ to execute manual fuel modification treatments on Treatment Units 16A and H, for the sum of _____ +GST as outlined in their proposal dated _____, 2024.

THAT the Village of Kaslo contract with _____ to execute mechanical fuel modification treatments on Treatment Unit I, for the sum of _____ +GST as outlined in their proposal dated _____, 2024.

7.5 Committee of the Whole Meeting Schedule

To schedule Committee of the Whole meetings to discuss municipal projects and the 2024 budget.

RECOMMENDATION:



THAT a Committee of the Whole meeting be scheduled for 6:00 p.m. on Thursday, March 14, 2024 to discuss municipal projects, and further

THAT a Committee of the Whole meeting be scheduled for _____, to discuss the 2024 budget.

8. Late Items

9. In Camera Meeting

RECOMMENDATION:

THAT Council now recess and reconvene in-camera with the public excluded under Section 90(1) (c) of the Community Charter to consider matters relating to employee relations.

10. Raised from In Camera Meeting

11. Adjournment





REGULAR MEETING OF COUNCIL MINUTES

DATE: 2024.02.27

LOCATION: Council Chambers – City Hall

TIME: 6:00 p.m.

413 Fourth Street, Kaslo

PRESENT: Chair: Mayor Hewat
Councillors: Bird, Brown, Lang, Leathwood
Staff: CAO Tynan, CO Allaway
Public: 15

1. Call to Order

We respect and recognize the First Nations within whose unceded lands the Village of Kaslo is situated, including the Ktunaxa, Sinixt, and Sylix People, and the Indigenous and Metis Residents of our community.

The meeting was called to order at 6:02 p.m.

2. Adoption of the Agenda

2.1 Adoption of the Agenda for the 2024.02.27 Council Meeting

36/2024

Moved, seconded and CARRIED

THAT the agenda for the 2024.02.27 Council Meeting be adopted as presented.

3. Adoption of the Minutes

3.1 Adoption of the Minutes of the 2024.02.13 Council Meeting

37/2024

Moved, seconded and CARRIED

THAT the minutes of the 2024.02.27 Council Meeting be adopted as presented.

4. Delegations

4.1 Victorian Hospital of Kaslo Auxiliary Society re Thrift Store

Andy Shadrack presented information regarding the Thrift Store operations and explained their requests relating to the renewal of the lease agreement.

5. Information Items

5.1 Council Reports

5.1.1 Mayor's Report – Mayor Hewat provided a written report as well as a verbal update on her recent activities.

5.2 Committee Minutes

5.2.1 2024.02.12 Front Street Park Design Committee Meeting minutes DRAFT

5.3 Staff Report

5.3.1 CAO Report – CAO Tynan provided an update on municipal operations and upcoming events.

5.3.2 FireSmart Coordinator Update – Jessie Lay presented information to Council about recently completed as well as planned FireSmart activities in Kaslo.

5.4 Correspondence

5.4.1 Kaslo Racquet Club

5.4.2 South Beach Correspondence

- 5.4.2.1 Anderson 2024.02.09
- 5.4.2.2 Heard 2024.02.06
- 5.4.2.3 Ashenhurst 2024.02.06
- 5.4.2.4 Bouwmeester 2024.02.07
- 5.4.2.5 Broadfoot 2024.02.006
- 5.4.2.6 Cheatley 2024.02.13
- 5.4.2.7 Chomitz & Anderson 2024.02.06
- 5.4.2.8 Duchastel 2024.02.07
- 5.4.2.9 East 2024.02.16
- 5.4.2.10 Fournie-Beck 2024.02.06
- 5.4.2.11 Frissard 2024.02.06
- 5.4.2.12 Gibson 2024.02.20
- 5.4.2.13 Gilmore 2024.02.08
- 5.4.2.14 Heide 2024.02.07
- 5.4.2.15 Hope 2024.02.06
- 5.4.2.16 Koenig 2024.02.12
- 5.4.2.17 Louise 2024.02.12
- 5.4.2.18 Malik 2024.02.11
- 5.4.2.19 Markowski 2024.02.06
- 5.4.2.20 Mayert 2024.02.07
- 5.4.2.21 McCormick 2024.02.06
- 5.4.2.22 Mordella 2024.02.06
- 5.4.2.23 Murdock 2024.02.08
- 5.4.2.24 Naicker 2024.02.20
- 5.4.2.25 Olson 2024.02.07
- 5.4.2.26 Saarinen 2024.02.09
- 5.4.2.27 Heard 2024.02.06
- 5.4.2.28 Schwartzentruber 2024.02.13
- 5.4.2.29 Shanti 2024.02.11
- 5.4.2.30 Stickel 2024.02.07
- 5.4.2.31 Symmes 2024.02.11
- 5.4.2.32 Temple 2024.02.08
- 5.4.2.33 Thornbery 2024.02.07
- 5.4.2.34 Valentine 2024.02.07
- 5.4.2.35 Whittaker 2024.02.20
- 5.4.2.36 Zuzana 2024.02.08

5.5 **2024.02.27 Circulation Package**

6. **Question Period**



3 members of the public asked questions of Council.

7. Business

- 38/2024** 7.1 **Fees & Charges Amendment Bylaw 1301, 2024**
Moved, seconded and CARRIED
THAT Fees and Charges Amendment Bylaw 1301, 2024 be given first, second and third reading.
- 39/2024** 7.2 **DVP 2023-15 – 336 B Ave (Kaslo Community Services)**
Moved, seconded and CARRIED
THAT Council approve Development Variance Permit application DVP 2023-15 to vary the requirements of Land Use Bylaw #1130 as follows:
- i. To reduce the easterly side yard setback from 4.5 metres to 1.6 metres for the proposed addition.**
 - ii. To reduce the number of required off-street parking spaces for the office and residential use from 7 to 3.**
- AND FURTHER, that the Development Variance Permit be issued subject to the Kaslo Community Services entering into an agreement with the Village to pave and maintain that portion of the boulevard on B Avenue in front of their property for angled parking with a signed restriction that overnight parking be prohibited.**
- 40/2024** 7.3 **DVP 2024-01 – 137 Wardner Street**
Moved, seconded and CARRIED
THAT Council approve Development Variance Permit application DVP 2024-01 for the property located at 137 Wardner Street, to allow the following:
- i. A second, seasonal part-time employee, who is not a resident of the dwelling, may be employed in the home occupation.**
 - ii. At least 3 parking spaces in the front yard, two of which shall be dedicated to the home occupation.**
- Councillor Brown declared a conflict of interest with respect to item 7.4 and absented himself from the meeting at 7:28 p.m. as he is an applicant.*
- 41/2024** 7.4 **Municipal Grants**
Moved, seconded and CARRIED
THAT \$5,398.00 in municipal grants be awarded as follows:
- | | |
|--|--------------|
| iDiDaRide | \$418 |
| Car Show | \$418 |
| Cougars | \$418 |
| Kaslo & Area Youth Council | \$418 |
| Baseball & Softball Association | \$418 |



Community Acupuncture	\$418
Community Garden Society	\$418
JVH Bursary	\$400
Community Services Society	\$418
Kootenay Lake Independent School	\$418
Racquet Club	\$418
Kaslo Search & Rescue	\$418
Langham Cultural Society	\$400

Councillor Brown returned to the meeting at 7:39 p.m.

- 42/2024** **7.5 Arena Improvement Project**
 Moved, seconded and CARRIED
THAT staff is directed to proceed with the Kaslo & District Arena Resiliency Upgrades, as outlined in the funding agreement with the Columbia Basin Trust, in collaboration with the Kaslo & District Arena Society, the Kaslo Curling Club and Area D Director Watson; and further, THAT staff is directed to prepare an amendment to the Five Year Financial Plan Bylaw to include the grant revenue and project expenditures.
- 43/2024** **7.6 Letter of Support – Langham Cultural Centre**
 Moved, seconded and CARRIED
THAT the Village of Kaslo Council supports the proposed redevelopment of exhibits at the Langham Cultural Centre recognizing the history of Japanese Canadians in Kaslo.
- 44/2024** **7.7 Invitation to Joint Province of BC/Sinixt Confederacy Training**
 Moved, seconded and CARRIED
THAT Councillor Bird and Mayor Hewat be authorized to attend the joint Province of BC/Sinixt Confederacy/Colville Confederated Tribes training opportunity in Nelson on April 26, 2024, with expenses paid pursuant to municipal policy.
- 8. Late Items – Nil**
- 45/2024** **9. In Camera Meeting**
 Moved, seconded and CARRIED
THAT Council now recess and reconvene in-camera with the public excluded under Section 90(1) (a) of the Community Charter.

The open meeting recessed at 7:43 p.m.
 The open meeting reconvened at 8:52 p.m.



10. Raised from In Camera Meeting – Nil

11. Adjournment

The meeting was adjourned at 8:52 p.m.

CERTIFIED CORRECT:

Corporate Officer

Mayor Hewat

DRAFT





Mayors Report

Regular Council Meeting

Tuesday, March 12, 2024

The following is a summary of the meetings and/or events that I have participated in since my last written report as well as a list of upcoming meetings and events.

Please note that for Regional District meetings, I will only be reporting on items that have a direct impact on the Village of Kaslo.

February 20 Kaslo and Area Chamber of Commerce – report provided in my Supplementary report for the last meeting.

February 21

FCM - BC Regional Caucus.

One of FCM's five regional caucuses, the British Columbia Regional Caucus provides a forum for discussion of regional interests as identified by members of the caucus and serve as a consultative forum for governance issues being recommended to the FCM Board of Directors. All board and non-board members are automatically members of their respective caucus.

February 22

FCM – Social-Economic Development Committee.

The Committee focuses on housing and homelessness, cultural and community infrastructure, immigration and municipal-Aboriginal relations, and aging infrastructure.

Kaslo & Area D – Emergency Preparedness Committee– report provided in my Supplementary report for the last meeting.

February 23

FCM – Environmental Issues and Sustainable Development Committee.

The Committee focuses on policies and programs related to green economy, climate change adaptation, clean air, water, waste, wastewater, brownfields, toxic substances (including pesticides), energy, invasive species and green infrastructure.

Town Hall meeting with Senior's Advocate Isobel MacKenzie.

Heritage Week event - Layer by Layer - The SS Moyie Restoration held at the Langham.

I was asked to attend and provide an opening for this event.

February 26

North Kootenay Lake Services Committee.

We discussed the budgets for S221: Regional Facilities, Recreation and Park Service, S280: Fire Service, A101: Emergency Consolidated Services, S162: Emergency Planning – Kaslo & Area D and made a few amendments.





Mayors Report

Kaslo/Area D Public Budget Review.

Director Watson and I were joined by RDCK CFO Yev Maloff who came to City Hall to present the draft budget for Kaslo & Area D.

The public was able to ask questions. The budget figures presented in the documents didn't reflect the changes made earlier in the day, but these will be incorporated into the final budget which will be discussed and approved at the March RDCK Board meeting.

February 27 Regular Meeting of Council

February 28

Committee of the Whole Meeting to review the status of municipal projects – cancelled to due weather.

Upcoming Meetings

March 4 to 9 FCM Board Meeting in Prince George

During this week, there may also be an Invasive Species Working Group meeting which I hope I can participate in.

March 11 Joint Resource Recovery meeting – cancelled.
Health Advisory Committee meeting.

March 12 Regular Meeting of Council.

March 13 Langham 50th Anniversary committee meeting.

March 18 St Andrews Launch Pad meeting.

March 21 RDCK Board meeting.

March 25 Recreation Grant committee meeting.

March 27 RDCK All Recreation Committee meeting.
West Kootenay-Boundary Regional Hospital District meeting.

Respectfully submitted,
Mayor Suzan Hewat





March 6, 2024

**HERITAGE & COMMERCIAL CORE DEVELOPMENT PERMIT
PLANNING REVIEW REPORT
DP 2024-02**

Address: 415 Front Street
PID: 016-366-085
Owner: Colette & Blair Enns, Ominus Holdings Ltd.

Overview: The applicant proposes to make improvements to the façade of an existing commercial building that is located within the Heritage & Commercial Core Development Permit Area designated by the Official Community Plan (OCP, Section 16.3).

Zoning: C-2 Central Business District
OCP: Core Commercial

Discussion:

The applicant has applied for a Heritage & Commercial Core Development Permit for alterations to the front façade of the building, which will include removal of the non-heritage corrugated plastic-covered awning and restoration of the building's ornamental features. The drawings submitted with the application and rationale letter demonstrate thoughtful compliance with the design and colour guideline requirements of the OCP. This is a nice opportunity to improve the heritage streetscape of Front Street.

The proposal includes installation of light fixtures that will overhang the sidewalk. Section 16.3.5.4 of the OCP requires that an application that includes features that project into or over the public street must be referred to Council. As the proposed development appears to meet the criteria of the Heritage Design Guidelines, Council may opt to approve the application without referring it to heritage design review, which will speed up the approval process.

Conclusion:

The proposed design meets the requirements of the Heritage & Commercial Core Development Permit if Council approves of the light fixtures overhanging the Front Street sidewalk.

Prepared by: Ian Dunlop, Dun-Map Inc.
Planning contractor for the Village of Kaslo

CAO Approval:

Box 576, Kaslo, BC V0G 1M0
Tel. 250-353-2311 Fax. 250-353-7767
E-mail: admin@kaslo.ca <http://www.kaslo.ca>

February 26, 2024

Suzan Hewat, Mayor of Kaslo
The Village of Kaslo
413 4th St, Kaslo, BC V0G 1M0

Dear Mayor Hewat and Council,

I would like to request a development permit to refurbish the front of our building at 415 Front Street in downtown Kaslo.

We are proposing to: remove the worn awning and fluorescent lighting, rebuild the wooden facade as necessary to bring it back to its original state and repaint the facade using Kaslo heritage colours from the colour guidelines published in the Village's OCP. We have selected a creamy white colour for the main exterior walls with earth tone and black trim colours, to enhance the original red-hued bricks.


We would also like to add wall signage above the door and some exterior lighting to the front of the building.

We believe this proposal will bring the building back to its original state and help to beautify Front Street.

More details and images are included in the attached report.

Thank you for considering this proposal.

Sincerely,



Colette Enns
Owner, Omnius Holdings Ltd.
Kaslo BC

Attachments:
Development Application Form
Proposal
State of Title Certificate (Village is preparing a more recent copy)
Colour rendering of front facade



VILLAGE OF KASLO DEVELOPMENT APPLICATION FORM

(for use with Bylaw 1283)

TYPE OF APPLICATION

- Rezoning/Land Use Bylaw Amendment
- Official Community Plan Amendment
- Development Permit _____
- Development Variance Permit
- Temporary Use Permit

- ### Type of Development Permit
- Heritage & Commercial Core
 - Lakefront Protection
 - Stream Protection
 - Wildfire

Refer to the current Fees and Charges Bylaw for current application fees.

Do not use this form for Building Permit or Subdivision applications.

DESCRIPTION OF PROPERTY

Civic Address: 415 Front Street, Kaslo BC PID 016-366-085

Legal Description (from title document):

LOT 8, BLOCK 9, DISTRICT LOT 208, KOOTENAY LAND DISTRICT, PLAN 303

CONTACTS

Applicant:

Name COLETTE ENNS		Company OMNIUS HOLDINGS LTD.	
Address 415 FRONT STREET		City KASLO	
Email mail@omnius.ltd		Postal Code VOG1M0	
Phone	Cell 250-551-2531	Fax	
Signature of Applicant		Date February 26, 2024	

Owner, if the Applicant is not the Owner:

Name		Company	
Address		City	
Email		Postal Code	
Phone	Cell	Fax	

The "Authorization of Owner" form signed by the owner(s) is also required.

OFFICE USE ONLY

Date	Dev. File No.
Received By	Folio No.
Receipt No.	Fees \$



VILLAGE OF KASLO DEVELOPMENT APPLICATION FORM

Authorization of Owner to make an Application

Re: Civic Address _____

I/We _____

are the registered owner(s) of (legal description) _____

I/We hereby authorize _____
(please print name)

to apply for the following:

- Rezoning/Land Use Bylaw Amendment
- Official Community Plan Amendment
- Development Permit
- Development Variance Permit
- Temporary Use Permit

and to be my/our representative in this matter.

[Redacted Signature]

Colette Enns

Address

[Redacted Address]

Kaslo BC

[Redacted Signature]

Name of Owner (print)

Blair Enns

Address

[Redacted Address]

Kaslo BC

February 26, 2024

Date

[Redacted Signature]

Signature of Witness

MATTHEW BROWN

Name of Witness

[Redacted Signature]

Phone

Signature of Witness

February 26, 2024

Date

Signature of Witness

Name of Witness

[Redacted Signature]

Phone

Signature of Witness

This form must be signed by all persons named on the title certificate.

Proposal to refurbish and beautify the facade of the building at 415 Front Street by:

1. Removal of the worn plastic awning and fluorescent lighting
2. Assessing and upgrading the facade wood; rebuild the wooden caps (at top sides of building facade)
3. Repaint following OCP guidelines

Rationale for our proposal:

1. Does the proposal conform to the recommendations of the Official Community Plan and any other relevant municipal policies? Yes
2. What are the economic, environmental and social/cultural benefits of your proposal e.g. increased tax base, number of jobs, housing affordability etc.? Beautification of Front Street retail shopping area.
3. What is the demonstrated public need or demand for the proposal? Does the location meet a demand or need which is not met in this location? The building is in disrepair and needs to be improved to bring it up to the level of the surrounding buildings.
4. Is the public infrastructure (e.g. sewer, storm sewer, water, roads, sidewalks, parks etc.) adequate in this area to meet your proposal? If not how does your proposal address infrastructure and service requirements? Yes
5. Does your proposal complement or improve conditions existing in the surrounding area? What other effects would this proposal have on the immediate neighbours? Consider traffic, noise, activity levels, odours, removal of natural landscape and trees, privacy, views etc? Improves the view on Front Street.
6. How well does the proposed development relate to the community? Is the design in keeping with existing or anticipated development in the community? Consider building height, massing, orientation, setbacks and streetscape. Consider also historical and heritage features in the area and whether they are addressed in Kaslo's Official Community Plan. The building will be painted in period style colours from the Colour Design Guidelines (OCP) and in keeping with the rest of Front Street.
7. How does your proposed development consider energy efficiency, the use of fire-resistive building materials and landscape practices so it is less susceptible to environmental hazards and the impacts of climate change. N/A
8. If you are applying for a Development Variance Permit, why is it not possible or practical for your proposed development to conform with the bylaw requirements? Have you considered alternatives that would reduce the variances needed? N/A

9. If you are applying for a Heritage and Commercial Core Development Permit, please indicate the Heritage Design Guidelines and Colours applicable to your development or why it is not possible or practical to comply with certain guidelines.

Guidelines Applicable:

We have considered these guidelines in particular for the refurbishment of 415 Front Street:

- To protect and enhance the heritage buildings present in the village
- All detailing and decoration of buildings in Kaslo should be authentic or adapted from authentic designs. (Vintage photographs of Kaslo)
- One storey building with false front
- Balanced, symmetrical spacing of windows and doors was a common feature in buildings of the historic streetscape.
- Business owners should hold to a maintenance regimen that ensures the attractiveness of their building's facade.
- Most buildings put up after the 1930s tended to be faced in masonry or stucco materials. Brick, in traditional red hues.
- Paint and stain finishes are preferred over unfinished or clear finished woods.
Encouraged: Horizontal wood board siding applications, vertical board-and-batten or shiplap jointed boards (secondary facades only), wooden corner boards: 1"x 4" or 1"x 6", Window & door wood trims: 1" x 4" or 1" x 6" - Hardi-board shingles or thin-split shakes
- In early Kaslo, display windows on commercial buildings were considerably larger than the double-hung window; giving large display windows period lettering treatments
- Older commercial buildings had wooden, paneled doors that were partially glazed with fixed glass panes.
- Exterior Lighting: Turned, enameled, metal shades are encouraged
- Signage: Projecting, Window or Painted wall signage
- Paint: Colours popular during Kaslo's historic period tended to be muted rather than pure tones. Colours ranged from buffs, greys, and ochres to shades and tints of brick red, olive green, earth tones and blues.
- Bright colours are best when used in accent situations rather than as a major trim colour. Large scale use of bright colours can easily result in a garish colour scheme which would be too intense and out of character for the historic downtown.

Colours selected for project:

Creamy white, with black and earth tone red trim (complementary highlight) to match red bricks

Creamy White: SW Westhighland White 7566 (main walls)

Black: SW Tricorn Black 6258 (Trim and door)

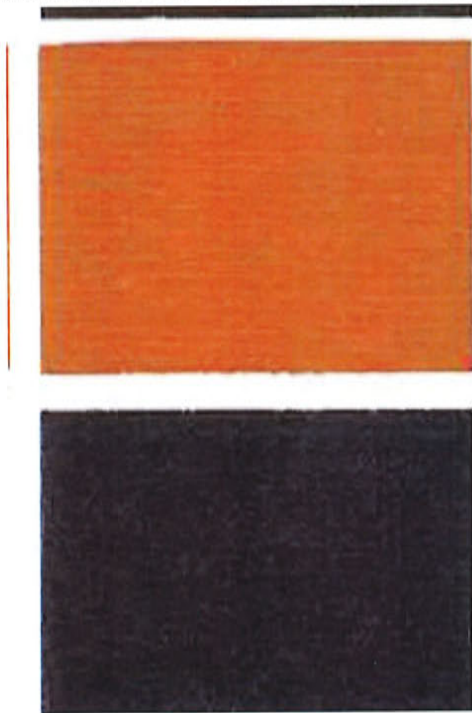
Earth Tone: SW Spicy Hue 6342 (Trim)

Red bricks (existing)

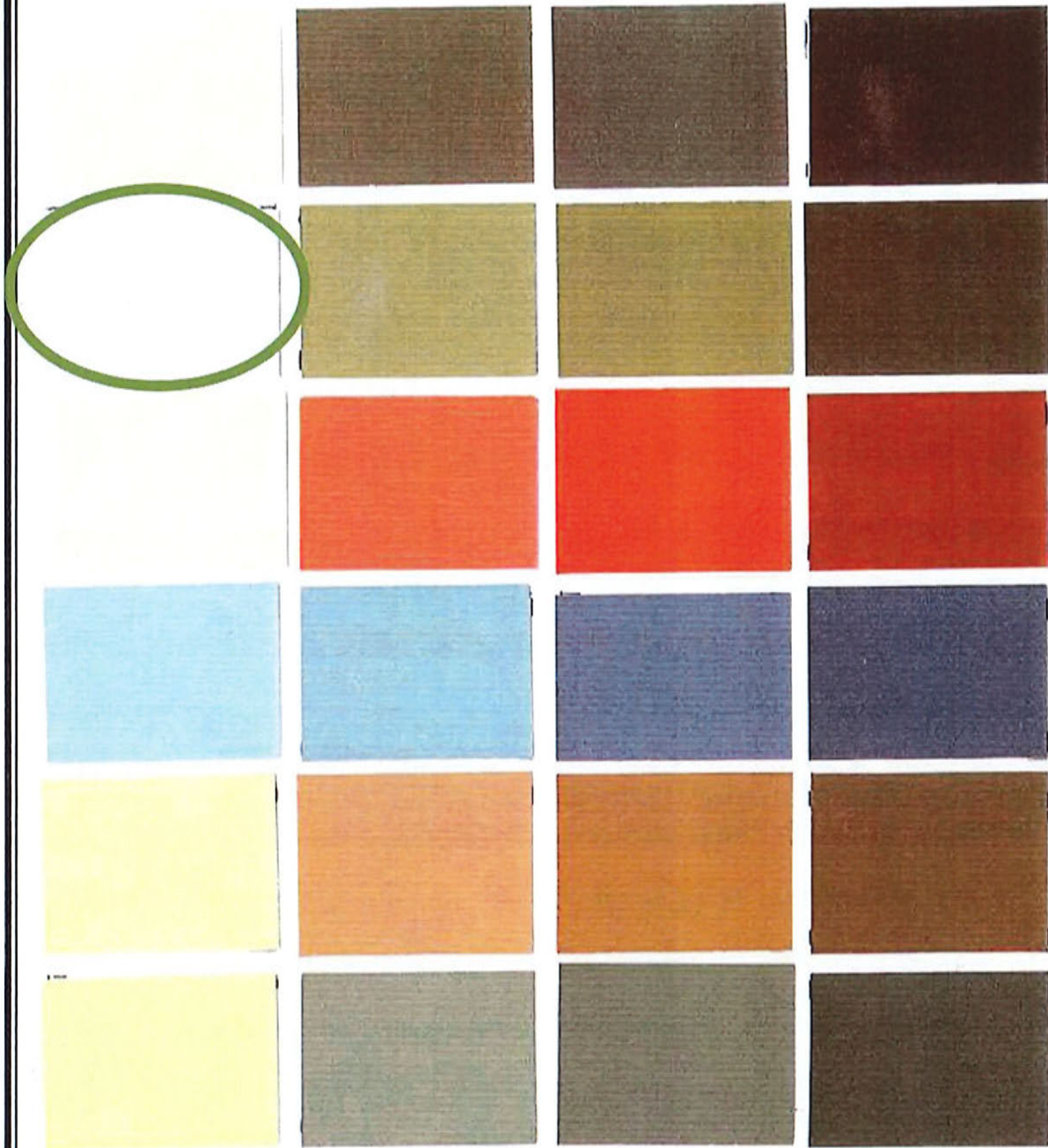
Colours from the OCP Colour Guidelines:



From the OCP Colour Guidelines:

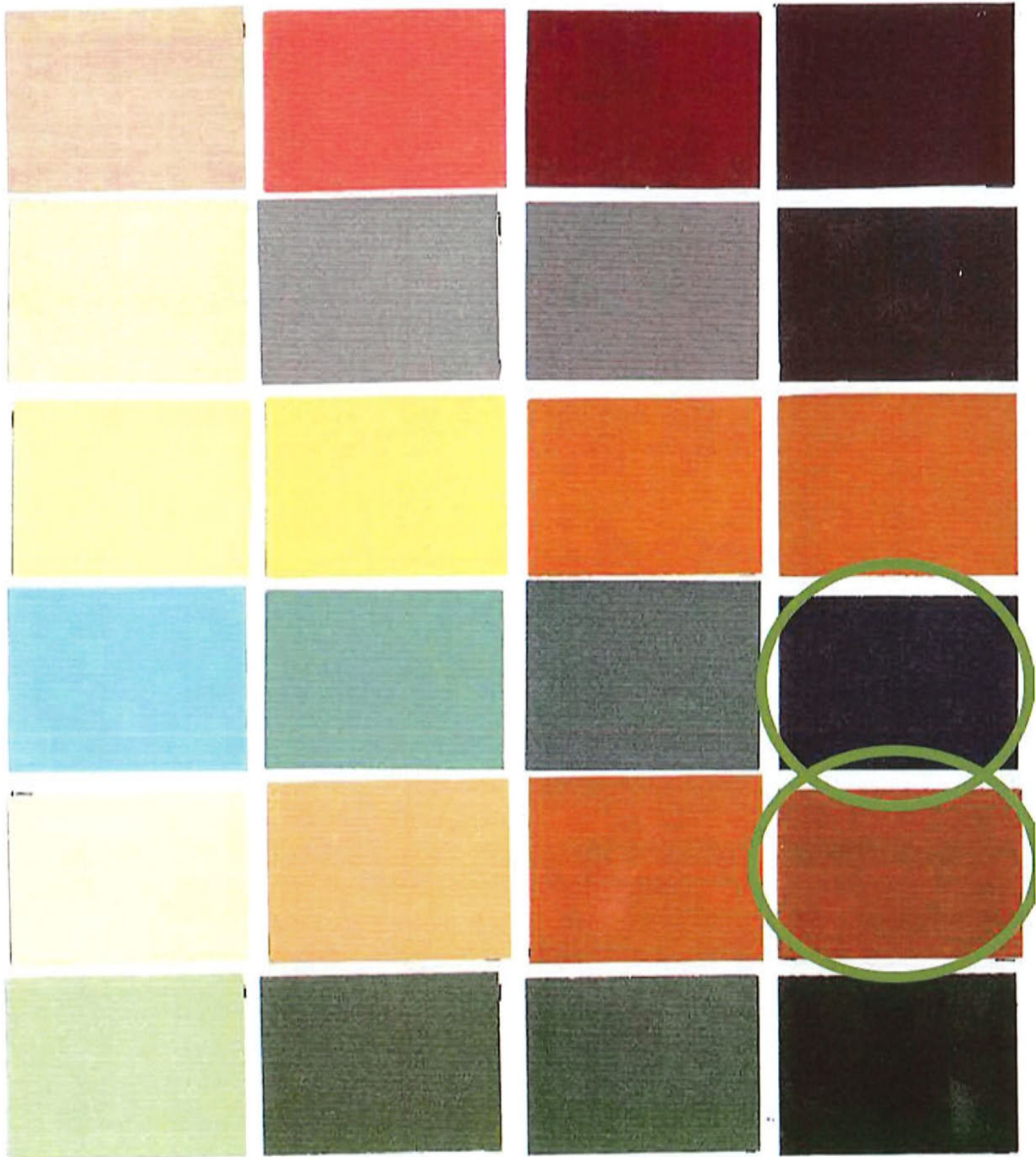


HISTORIC COLOURS



SHADES OR TINTS OF THESE COLOURS ARE ALSO ACCEPTABLE.

HISTORIC COLOURS



SHADES OR TINTS OF THESE COLOURS ARE ALSO ACCEPTABLE.

Classic, Colonial and Crisp

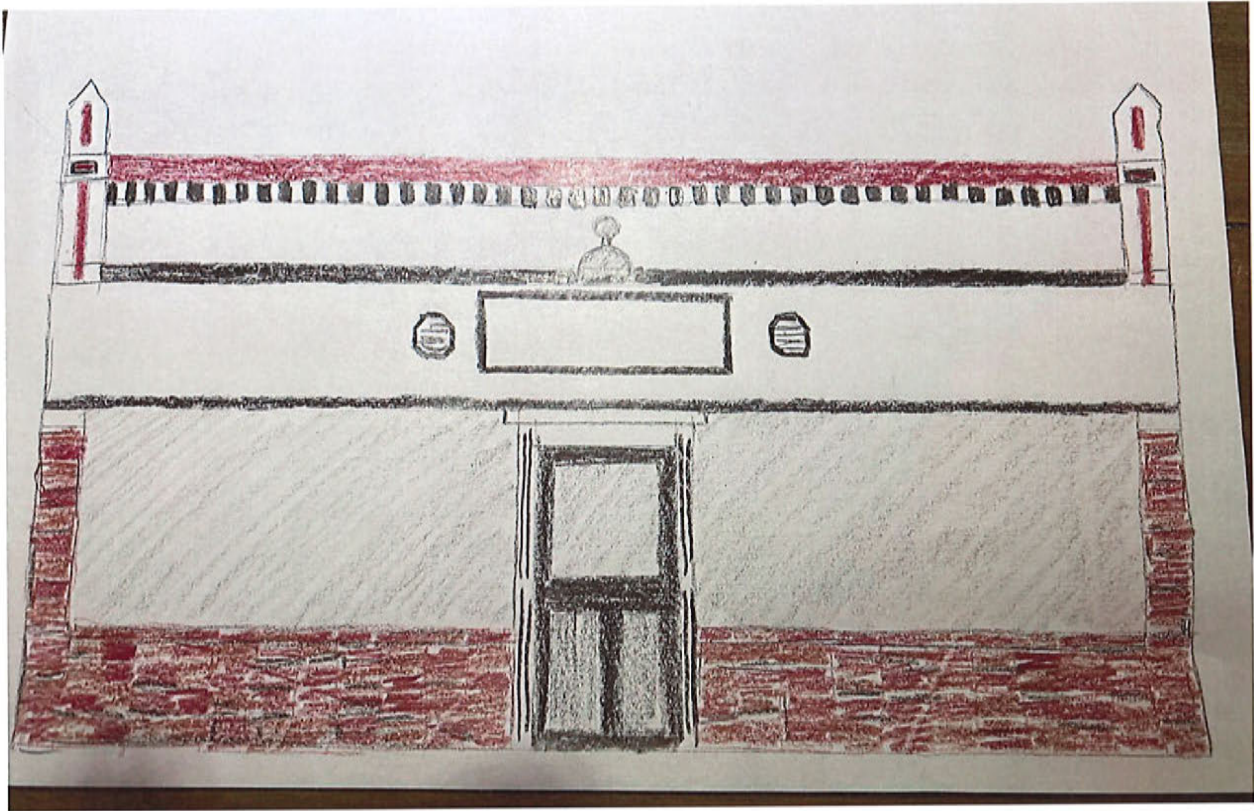
Exterior Paint Colors with Red Brick
Sherwin Williams



 Rough Design

Spicy Hue

Proposed colour scheme:



Sample lights:



**TLG's PRIME
Affect**

**ALWAYS CHEAPER THAN
BY AMAZON...**



**FREE
WEIGHT**



TLG's PRIME Affect

**ALWAYS CHEAPER THAN
BY AMAZON...**

Now thats a smile!



<https://www.thelightingguyontario.com/outdoor-gooseneck-barn-lights>

BUILDING FACADE:



AWNING AND FRONT DOOR:



Applications for a Development Permit require the following documentation:

- 1) A completed application form, available from the Village Offices, completed by the building owner or their authorized agent. Attached
- 2) A photograph of the building facade as it currently appears. Attached
- 3) A rendering, preferably in colour, of the proposed façade improvements. Where applicable, sketches should be to scale and provide dimensions. Above
- 4) Colour chips of proposed paint colours, or reference to the comparable colour in the Village of Kaslo Colour Design Guidelines. Above
- 5) For awnings, sample or accurate approximating of proposed colours and pattern of the material to be used. We want to remove the awning.

LAND TITLE OFFICE
STATE OF TITLE CERTIFICATE

Certificate Number: STSR3700535

File Reference: Omnibus

RHONDA RUSTON
BOX 967
KASLO BC V0G 1M0

A copy of this State of Title Certificate held by the land title office can be viewed for a period of one year at <https://apps.ltsa.ca/cert> (access code 746763).

I certify this to be an accurate reproduction of title number **CB201743** at 09:24 this 10th day of November, 2022.



REGISTRAR OF LAND TITLES



Land Title District	NELSON
Land Title Office	NELSON
Title Number	CB201743
From Title Number	CA6382141
Application Received	2022-09-06
Application Entered	2022-09-08
Registered Owner in Fee Simple	
Registered Owner/Mailing Address:	OMNIUS HOLDINGS LTD., INC.NO. BC1298728 PO BOX 454 KASLO, BC V0G 1M0
Taxation Authority	Nelson Trail Assessment Area Kaslo, Village of

LAND TITLE OFFICE
STATE OF TITLE CERTIFICATE

Certificate Number: STSR3700535

Description of Land

Parcel Identifier: 016-366-085
Legal Description:
LOT 8 BLOCK 9 DISTRICT LOT 208 KOOTENAY DISTRICT PLAN 393

Legal Notations NONE

Charges, Liens and Interests

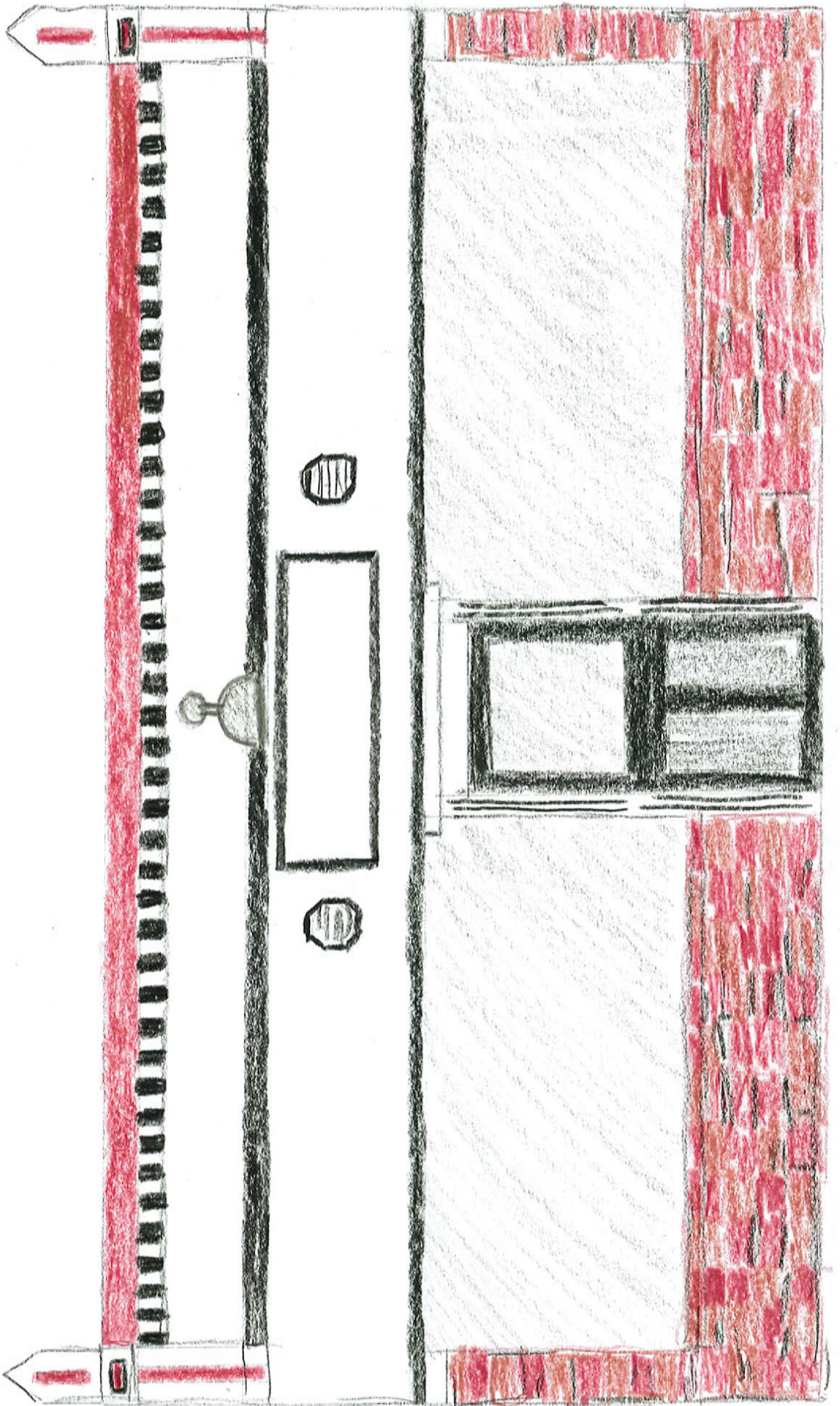
Nature: EXCEPTIONS AND RESERVATIONS
Registration Number: XE22675
Registration Date and Time: 1991-09-30 11:03
Registered Owner: HER MAJESTY THE QUEEN IN RIGHT OF THE PROVINCE OF
BRITISH COLUMBIA
Remarks: SECTION 47 LAND ACT
SEE XE22674

Duplicate Indefeasible Title NONE OUTSTANDING

Transfers NONE

Pending Applications NONE

This certificate is to be read subject to the provisions of section 23(2) of the Land Title Act (R.S.B.C. 1996 Chapter 250) and may be affected by sections 50 and 55-58 of the Land Act (R.S.B.C. 1996 Chapter 245).



A



March 6, 2024

**HERITAGE & COMMERCIAL CORE DEVELOPMENT PERMIT (OCP)
AND BUILDING PERMIT (ZONING) PLANNING REVIEW REPORT
DP 2024-03**

Address: 425 Front Street
PID: 024-736-716
Owner: Daniella Collier, Forrest Collier and Bernelle Collier (Eric's Meat Market)

Overview: The applicant proposes to construct an outdoor restaurant within the Heritage & Commercial Core Development Permit Area designated by the Official Community Plan (OCP, Section 16.3).

Zoning: C-2 Central Business District
OCP: Core Commercial

Background:

The applicant has applied for a Heritage & Commercial Core Development Permit and building permit for a new seasonal outdoor restaurant. The applicant began constructing a deck last year, but the plans submitted with the application for the deck did not show a proposed kitchen, which triggered substantial building code requirements for plumbing, mechanical, fire separation, and changes the use classification to a restaurant. Once the scope of what the applicant was proposing was better understood through investigation by the Building Inspector, a stop work order was issued. A subsequent application for a Development Variance Permit was approved for an exemption from the parking requirements for a restaurant. Unfortunately, the applicant was not able to meet the building code requirements to proceed with further construction at the time.

Discussion:

The new application includes a set of professionally prepared drawings showing details of the proposed outdoor restaurant. The design of the sheltered area and short wall adjacent to the sidewalk has changed from the original design, so the Heritage & Commercial Core Development Permit that was issued last year for the deck cannot transfer to the updated development.

The new design is clean and aesthetically pleasing. The Building Design Guidelines in the OCP suggest that patterned design elements, such as trim, corner boards, cornices and other "relief detailing of this nature creates a lively and interesting pattern when worked into the design of the building face." The previous design did include some trim features and contrasting paint colours. The new design is a bit more contemporary, but still follows the

Box 576, Kaslo, BC V0G 1M0
Tel. 250-353-2311 Fax. 250-353-7767
E-mail: admin@kaslo.ca <http://www.kaslo.ca>

guidelines through the use of horizontal wood boards and a false front. The counter-height wood board-faced wall along the sidewalk provides continuity to the streetscape. The proposed colour is compatible with the Colour Design Guidelines palette. Stain, rather than paint, is proposed, and the guidelines note that “in certain instances, the use of wood stains or coloured preservatives may be more appropriate than paint.” The rationale letter provided with the application provides justification for these choices, and notes that metal panels have been included to be compliant with the building code.

Land Use Zoning Bylaw 1130 allows for 0 (zero) metre setbacks at the front and sides of commercial properties, and minimum 4.5 metres at the rear. A restaurant is a permitted use. The lot includes the existing retail use (Eric’s Meat Market) and an upstairs residential unit. The proposed development exceeds the minimum requirements for rear yard and meets the other requirements of the C-2 Central Business District zone. A Development Variance Permit was approved by Council in 2023 for an exemption from the parking requirements for the proposed restaurant, as it is not possible to provide parking on site. The variance also enabled waiving of the payment in lieu of parking bylaw requirements.

A report titled “Domestic Water Service – Sizing and Loads” was provided with the application. This document should be shared with Public Works for comment on whether the current water service to the property is adequate for the existing and proposed uses. The Building Inspector may require that confirmation.

Conclusion:

The proposed development meets the requirements of the Heritage and Commercial Core DPA and Land Use Bylaw 1130.

Prepared by: Ian Dunlop, Dun-Map Inc.
Planning contractor for the Village of Kaslo

CAO Approval:



VILLAGE OF KASLO DEVELOPMENT APPLICATION FORM

(for use with Bylaw 1283)

TYPE OF APPLICATION

- Rezoning/Land Use Bylaw Amendment
- Official Community Plan Amendment
- Development Permit _____
- Development Variance Permit
- Temporary Use Permit

- #### Type of Development Permit
- Heritage & Commercial Core
 - Lakefront Protection
 - Stream Protection
 - Wildfire

Refer to the current Fees and Charges Bylaw for current application fees.
Do not use this form for Building Permit or Subdivision applications.

DESCRIPTION OF PROPERTY

Civic Address: 425 Front Street Kaslo BC V0G1M0 PID 024-736-716

Legal Description (from title document):

Parcel D (KPA 5532) Block 9 District Lot 208 Kootenay District Plan 393

CONTACTS

Applicant:

Name <u>Daniella Collier/Furthest Collier</u>		Company <u>Eric's Meat Market Ltd.</u>	
Address <u>425 Front St. P.O. Box 368</u>		City <u>Kaslo</u>	
Email <u>operations@ericsmeatmarket.com</u>		Postal Code <u>V0G1 M0</u>	
Phone <u>250 353 2436</u>	Cell	Fax	
[Redacted Signature]		Date <u>February 29, 2024</u>	

Owner, if the Applicant is not the Owner:

Name		Company	
Address		City	
Email		Postal Code	
Phone	Cell	Fax	

The "Authorization of Owner" form signed by the owner(s) is also required.

OFFICE USE ONLY

Date	Dev. File No.
Received By	Folio No.
Receipt No.	Fees \$



VILLAGE OF KASLO
DEVELOPMENT APPLICATION FORM

Authorization of Owner to make an Application

Re: Civic Address 425 Front St, Kaslo BC V0G 1M0

I/We Daniella Collier and Forrest Collier

are the registered owner(s) of (legal description) Parcel D (Kp25532) Block 9

District lot 208 Kootenay District Plan 393

I/We hereby authorize Town Architecture Inc.
(please print name)

to apply for the following:

- Rezoning/Land Use Bylaw Amendment
- Official Community Plan Amendment
- Development Permit
- Development Variance Permit
- Temporary Use Permit

and to be my/our representative in this matter.

[Redacted Signature]

Signature of Owner

February 29, 2024
Date

[Redacted Signature]

Signature of Witness

Daniella Collier

Name of Owner (print)

Stephanie McLean

Name of Witness

[Redacted Signature]

Signature of Witness

[Redacted Signature]

Signature of Owner

February 29, 2024
Date

[Redacted Signature]

Signature of Witness

Forrest Collier

Name of Owner (print)

Stephanie McLean

Name of Witness

[Redacted Signature]

Signature of Witness

This form must be signed by all persons named on the title certificate.

LETTER OF INTENT

Subject: Building Permit Submission

Date: February 28, 2024

Project: Eric's Meat Market Patio
Address: 425 Front Street, Kaslo BC, VOG 1M0
PARCEL D, BLOCK 9, PLAN NEP393, DISTRICT LOT 208, KOOTENAY LAND DISTRICT,
(KP25532) (PID: 024-736-716)

To Whom it May Concern,

Background:

This letter accompanies the attached Building Permit Application. Before Town Architecture Inc. was involved, a previous building permit (BP 27787) was granted in 2023. However, construction ceased due to a misunderstanding of the structure's intended use, resulting in a Stop Work Order.

Town Architecture Inc. was engaged to revise the drawings and resubmit the permit package to address concerns raised by the Regional District Central Kootenay (RDCK). Collaborating closely with Dan Siminoff (RDCK), we resolved the issues and incorporated the solutions into the attached architectural and mechanical drawings.

Changes/Updates:

Architectural drawings now include fire separations, fire resistance ratings, and non-combustible construction/cladding to meet BC Building Code (BCBC) requirements. An accessible washroom and south deck extension have been added to comply with BCBC standards. The patio seating/table layout confirms adherence to BCBC 3.1.2.6 'Low Occupant Load'. Kitchen layout details and mechanical drawings from a licensed engineer are provided. Also proposed is an upgrade to the water intake line, as indicated in the drawings (refer to 3/M1).

Heritage Commercial Core Development Permit Area:

Previous designs approved for Development Permit required the fence along Front Street to be painted in heritage blue or white. After exploring these options, we decided to revise the material palette and building form to better align with historical context and Building Design Guidelines. Horizontal wood boards with a stain finish tie into the community's wood-clad building tradition, while white metal panels have been incorporated to meet BCBC requirements. The building form draws inspiration from the historical false-front structures along Front Street.

Our design balances historical authenticity with contemporary needs, respecting both the local Building Design Guidelines and the "Standards and Guidelines for Conservation of Historic Places in Canada". We welcome any further inquiries or discussions from RDCK or the Village of Kaslo.

Sincerely,



Jordan Jones | Architect AIBC, MRAIC
Town Architecture Inc.



2024/02/28

Jordan Jones
Architect AIBC, MRAIC

MEAT MARKET PATIO

CITY APPROVAL
STAMP

PERSPECTIVE IMAGE



SHEET #	SHEET NAME	Current Revision	Description
A000	COVER PAGE	Issued for BP & DP	
A001	PROJECT INFORMATION & NOTES	Issued for BP & DP	
A100	SITE PLAN	Issued for BP & DP	
A101	FLOOR PLANS	Issued for BP & DP	
A102	REFLECTIVE CEILING PLANS	Issued for BP & DP	
A200	EXTERIOR ELEVATIONS	Issued for BP & DP	
A201	EXTERIOR ELEVATIONS - COLOUR	Issued for BP & DP	
A300	SECTION DETAILS	Issued for BP & DP	
A310	3D VIEWS	Issued for BP & DP	
A801	RENDERINGS	Issued for BP & DP	
A802			

VICINITY MAP



ABBREVIATIONS

AC	AIR CONDITIONING	HPT	HIGH POINT
AD	AREA DRAIN	HT	HEIGHT
AFF	ABOVE FINISH FLOOR	INCL	INCLUDED
AGGR	AGGREGATE	INSUL	INSULATION
ALT	ALTERNATE	JOINT	JOINT
ALUM	ALUMINUM	KS	KITCHEN SINK
APPRX	APPROXIMATE	L'CL	LINEN CLOSET
BCH	BENCH	LAV	LAVATORY
ASFP	ASBESTOS FLOOR	LL	LIME LOAD
AVG	AVERAGE	LPT	LOW POINT
B/O	BOTTOM OF	LV	LOW VOLTAGE
BD	BOARD	MASONRY	MASONRY
BTUM	BITUMINOUS	MAX	MAXIMUM
BWG	BROOKING	MC	MEDICINE CABINET
BSG	BASEMENT	MSH	MISCELLANEOUS
CAB	CABINET	MR	MISCELLANEOUS
CEM	CEMENT	MIN	MINIMUM
CFM	CUBIC FEET PER MINUTE	MISC	MISCELLANEOUS
CL	CENTER LINE	MO	MASONRY OPENING
CLG	Ceiling	MTL	METAL
CLR	CLEAR	MW	MICROWAVE
CMU	CONCRETE MASONRY UNIT	NOT IN CONTRACT	NOT IN CONTRACT
CO	CO DETECTOR	NO	NUMBER
COOL	COOL	NO. M	NUMBER NOT TO SCALE
CONC	CONCRETE	OC	ON CENTER
CONST	CONSTRUCTION	OSD	OPEN SITE DRAIN
CONT	CONTINUOUS	PAN	PANTRY
CPT	CERAMIC TILE	PL	PLATE
D	DEEP	PLAM	PLASTIC LAMINATE
DBL	DOUBLE	PT	PART
DEPT	DEPARTMENT	PT	PART
DIA	DIAMETER	R	RADIUS
DIM	DIMENSION	REF	REFRIGERATOR
DL	DEAD LOAD	REQD	REQUIRED
DN	DOWNSPROUT	RENG	RANGE
DM	DISHWASHER	RO	ROUGH OPENING
DWG	DRAWING	SC	SOLID CORE
EA	EACH	SCF	SQUARE FEET
EL	ELEVATION	SH	SHelf
ELEC	ELECTRICAL	SST	STAINLESS STEEL
ELEV	ELEVATOR	STD	STANDARD
EMER	EMERGENCY	STL	STEEL
EQPT	EQUIPMENT	TBS	TONGUE AND GROOVE
EXT	EXISTING	TRK	TRACK
EXT	EXTERIOR	TRYP	TYPICAL
EXT	EXISTING	UNC	UNLESS NOTED OTHERWISE
FDTN	FOUNDATION	VERT	VERTICAL
FL	FLOOR DRAIN	VIF	VERIFY IN FIELD
FP	FIRE PLACE	W	WIDE
FURN	FURNACE	WD	WASHER / DRYER
GAPP	GAP	WC	WATER CLOSET
GAGE	GAGE	WD	WATER HEATER
GAGE	GAGE	WC	WALK-IN CLOSET
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	WP	WATERPROOF
GYP BD	GYP SUM BOARD	WWF	WELDED WIRE FABRIC
HC	HOLLOW CORE		
HIM	HOLLOW METAL		
HORE	HORIZONTAL		

SYMBOL & MATERIAL LEGEND

	DETAIL NUMBER		WINDOW TAG
	DETAIL CALLOUT		DOOR TAG
	ELEVATION TAG		KEYNOTE TAG
	SECTION TAG		ASSEMBLY TAG
	REVISION TAG		LIGHT TAG

SHEET LIST

SHEET #	SHEET NAME	Current Revision	Description
A000	COVER PAGE	Issued for BP & DP	
A001	PROJECT INFORMATION & NOTES	Issued for BP & DP	
A100	SITE PLAN	Issued for BP & DP	
A101	FLOOR PLANS	Issued for BP & DP	
A102	REFLECTIVE CEILING PLANS	Issued for BP & DP	
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A300	SECTION DETAILS	Issued for BP & DP	
A310	3D VIEWS	Issued for BP & DP	
A801	RENDERINGS	Issued for BP & DP	
A802			

SCOPE OF WORK

NEW PATIO AND OUTDOOR KITCHEN AREA ON 425 FRONT STREET, ADJACENT TO EXISTING ERIC'S MEAT MARKET.

PROJECT DIRECTORY

OWNER:
ERIC'S MEAT MARKET

3	Issued for BP & DP	34-028	
2	Drawing for Review	34-026	
1	Original Drawing	34-025	

#	DESCRIPTION	DATE
---	-------------	------



COVER PAGE

A000

GENERAL NOTES

PERFORMANCE OF THE WORK:

1. ALL PARTIES PERFORMING WORK OF THE PROJECT SHALL COMPLY WITH ALL APPLICABLE NATIONAL, FEDERAL, STATE, REGIONAL, LOCAL, AND MUNICIPAL CODES, STANDARDS, AND ORDINANCES.

2. THE CONTRACTOR SHALL COMPLY WITH THE CONTRACT DOCUMENTS AND THE REQUIREMENTS, POLICIES AND PROCEDURES OF THE OWNER.

3. INVESTIGATE EXISTING CONDITIONS, VERIFY AND BE RESPONSIBLE FOR ALL REQUIREMENTS OF THE PROJECT. ALL REQUIREMENTS SHALL BE IDENTIFIED IN THE CONTRACT DOCUMENTS.

4. ACCEPTANCE OF THE WORK BY THE OWNER SHALL BE A CONDITION OF THE FULFILLMENT OF THE CONTRACT.

5. THROUGHOUT THE CONSTRUCTION PERIOD, A CERTIFICATE OF INSURANCE FOR ALL LIABILITIES, WITH A HOLD HARMLESS CLAUSE, PROTECTING THE OWNER AND THE ARCHITECT.

BIDDING AND CONTRACT DOCUMENTS:

1. THE DRAWINGS SHALL BE ISSUED TOGETHER AND COMPLETELY AS A DOCUMENT SET FOR BIDDING AND CONSTRUCTION. ALL CONDITIONS ARE CONSIDERED UNLESS OTHERWISE IDENTIFIED FOR BY ONE SHALL BE AS BINDING AS IF CALLED FOR BY BOTH, FOR MATERIALS IDENTIFIED ON THE DRAWINGS, SEE THE SPECIFICATIONS FOR GENERAL, PRODUCT AND MATERIALS.

2. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO INCLUDE EVERYTHING REQUISITE AND NECESSARY TO COMPLETE THE WORK EVEN IF EVERYTHING REQUIRED FOR SUCH WORK IS NOT SPECIFICALLY MENTIONED OR INDICATED. REFERENT CONSTRUCTION MATERIALS, DETAILS, ASSEMBLIES AND SYSTEMS APPEAR ON VARIOUS SHEETS, SUCH NOTES AND REFERENCES ON ANY ONE SHEET ARE APPLICABLE TO RELATED DRAWINGS THROUGHOUT THE SET.

3. DISCREPANCIES MAY BE IDENTIFIED BETWEEN DRAWINGS AND SPECIFICATIONS BE DISCREPANCY. KEYNOTES TAGGED TO THE DRAWINGS WITH NUMERED OR LETTERED SYMBOLS ARE TYPICAL THROUGHOUT THE WORK.

4. DETAILS SHOWN ARE INDICATIVE OF PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK.

5. DIMENSIONS SHOWN AS DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.

6. DIMENSIONS SHOWN AS DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE. DIMENSIONS SHOWN AS DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.

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11. DIMENSIONS SHOWN AS DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE. DIMENSIONS SHOWN AS DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.

COORDINATION AND SUBSTITUTION:

1. COORDINATE WORK OF ALL TRADES WITH ONE ANOTHER IN ORDER TO AVOID INTERFERENCES.

2. PRESERVE MAXIMUM HEAD ROOM AND TO AVOID DIMENSIONS.

3. ALL ADDITIONAL COSTS, INCLUDING ALTERATION COSTS OF WORK ALREADY INSTALLED, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

4. ALL WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

6. ALL WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

7. ALL WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

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9. ALL WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

10. ALL WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

11. ALL WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

CONSTRUCTION PREMISES:

1. PROVIDE TEMPORARY FENCING AND PROTECTIONS AS REQUIRED BY THE NATIONAL, FEDERAL, STATE, REGIONAL, LOCAL, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION.

2. PROVIDE TEMPORARY FENCING AND PROTECTIONS AS REQUIRED BY THE NATIONAL, FEDERAL, STATE, REGIONAL, LOCAL, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION.

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11. PROVIDE TEMPORARY FENCING AND PROTECTIONS AS REQUIRED BY THE NATIONAL, FEDERAL, STATE, REGIONAL, LOCAL, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION.

MISCELLANEOUS:

1. ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT MOLECULAR BREAKDOWN.

2. PROVIDE TEMPORARY FENCING AND PROTECTIONS AS REQUIRED BY THE NATIONAL, FEDERAL, STATE, REGIONAL, LOCAL, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION.

3. PROVIDE TEMPORARY FENCING AND PROTECTIONS AS REQUIRED BY THE NATIONAL, FEDERAL, STATE, REGIONAL, LOCAL, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION.

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BC BUILDING CODE SUMMARY:

BUILDING CODE: BCBC 2018 (PART 9)

SCOPE: NEW PATIO, OUTDOOR KITCHEN AND ACCESSIBLE WASHROOM.

AREA: EXISTING STRUCTURE: BSMT = TBD

NEW STRUCTURE: LVL 1 (OPEN DECK) = 88.6 SM (324.6 SF)
LVL 1 (COVERED) = 19.06 (693.3 SF)
TOTAL = 107.66 (3879.9 SF)

NUMBER OF STORIES: 1

TYPE OF CONSTRUCTION: WOOD FRAME (COMBUSTIBLE)

CLIMATE ZONE: 5 (HDD: 3450) (NON-COMBUSTIBLE)

ENERGY METHOD: N/A (OUTDOOR & SEASONAL)

ENERGY RATING: N/A

ENERGY RATING: N/A

MAJOR OCCUPANCY: PROVIDED: 1 (+LANE)

EXISTING STRUCTURE: PER BCBC 3.1.2.6

NEW STRUCTURE: PER BCBC 3.1.2.6

OCCUPANCY GROUP: 3.1.2.6.2 LOW-OCCUPANT LOAD = D (PART 9)

FIRE RESISTANCE RATING: FLOORS = NOT REQUIRED
LOAD BEARING WALL/COLUMN = NOT REQUIRED
ROOFS = NOT REQUIRED

SPRINKLER: NOT REQUIRED FOR STRUCTURE

FIRE ALARM: NOT REQUIRED

STAIRWELL: NOT REQUIRED

LIMITING DISTANCE: NORTH = 10.25M / 2 = 5.13
EAST = 3.55M / 2 = 1.78M
SOUTH = 10.25M / 2 = 5.13
WEST = N/A

NOTE: BCBC 9.10.1.5.3 APPLIES REGARDING FIRE DEPARTMENT RESPONSE TIME.

MAXIMUM AREA OF OPENINGS: NORTH = 66.7%
EAST = 10.68%
SOUTH = 66.7%
WEST = N/A

PROPOSED OPENINGS: NORTH = N/A
EAST = N/A
SOUTH = N/A
WEST = N/A

TYPE OF CONST. REQUIRED: NORTH = COMBUSTIBLE OR NON-COMBUSTIBLE
SOUTH = COMBUSTIBLE OR NON-COMBUSTIBLE
WEST = COMBUSTIBLE OR NON-COMBUSTIBLE
EAST = COMBUSTIBLE OR NON-COMBUSTIBLE

TYPE OF CONST. PROPOSED: NORTH = NON-COMBUSTIBLE
SOUTH = NON-COMBUSTIBLE
WEST = NON-COMBUSTIBLE
EAST = NON-COMBUSTIBLE

TYPE OF CLADDING REQUIRED: NORTH = COMBUSTIBLE OR NON-COMBUSTIBLE
SOUTH = COMBUSTIBLE OR NON-COMBUSTIBLE
WEST = COMBUSTIBLE OR NON-COMBUSTIBLE
EAST = COMBUSTIBLE

TYPE OF CLADDING PROPOSED: NORTH = NON-COMBUSTIBLE
SOUTH = NON-COMBUSTIBLE
WEST = NON-COMBUSTIBLE
EAST = NON-COMBUSTIBLE

PROPERTY INFORMATION SUMMARY:

CIVIL/LEGAL ADDRESS: 425 FRONT STREET, KASLO, BC, V0G 1M0
PARCELS: BLOCK 9, PLAN NEP363, DISTRICT LOT 206, KOOTENAY (PT 0247-296716) (P23552)

LOT AREA: 511 SM (5,500 SF)

ZONING BYLAW SUMMARY:

ZONING: CZ (CENTRAL BUSINESS DISTRICT)
DEVELOPMENT PERMIT AREA: HERITAGE & COMMERCIAL CORE DPA

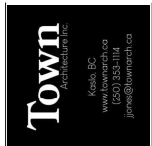
USE: PROPOSED: RETAIL OFFICE, SERVICE (RESTAURANT)
EXISTING STRUCTURE = E (MERCANTILE)
NEW STRUCTURE = A2 (RESTAURANT)
LOW-RISE RETAIL OFFICE (A2) THEREFORE D (BUSINESS) AS PER 8.06.3, 1.1.8

MAX. SITE COVERAGE: N/A
MIN. OPEN SITE SPACE: PROPOSED: N/A

SETBACKS: EXISTING: N/A
MIN. PERMITTED: 0.0M
FRONT YARD: 0.0M
SIDE YARD (EXT.): 0.0M
REAR YARD (EXT.): 4.5M
PROJECTIONS: 0.6M
N/A

MAX. BUILDING HEIGHT: PROPOSED: 12M
EXISTING: 4.9M (15'-0")

CITY APPROVAL STAMP



23003
MEAT MARKET PATIO
425 FRONT STREET,
KASLO, BC

CLIENT:
ERIC'S MEAT MARKET

3	Revised by G.P.P.	24/02/20
2	Drawings for Review	24/02/20
1	Prepared for Change	14/02/20

#	DESCRIPTION	DATE
---	-------------	------



PROJECT INFORMATION & NOTES

A001

SCALE	As indicated
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1		2		3		4		5		6		7		8		9
---	--	---	--	---	--	---	--	---	--	---	--	---	--	---	--	---



23003
MEAT
MARKET
PATIO
425 FRONT
STREET,
KASLO, BC
CLIENT:
ERIC'S MEAT
MARKET

- 3. Issued for P.C.P. 24-028
- 2. Drawings for Review 24-028
- 1. Project Change 24-028

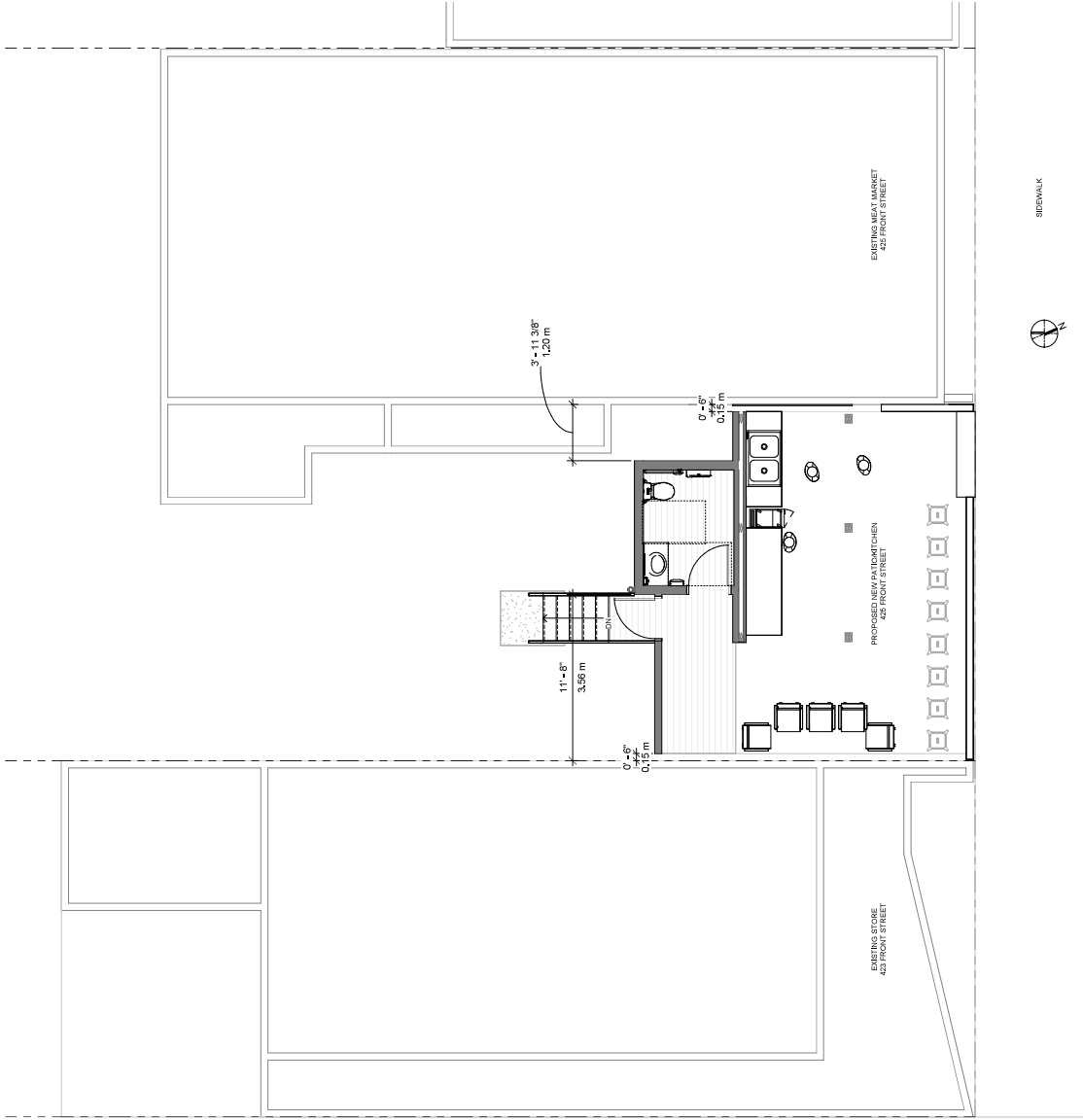
DESCRIPTION DATE



SITE PLAN

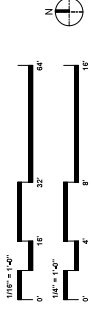
A100

SCALE As indicated



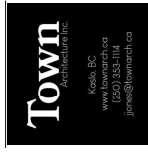
① SITE PLAN
1/4" = 1'-0"

② SITE PLAN - KEY
1/16" = 1'-0"



FRONT STREET

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9



23003
MEAT
MARKET
PATIO
425 FRONT
STREET,
KASLO, BC
CLIENT:
ERIC'S MEAT
MARKET

3	Revised for P.C.P.	24-02-28
2	Drawings for Review	24-02-22
1	Original Exchange	24-02-22

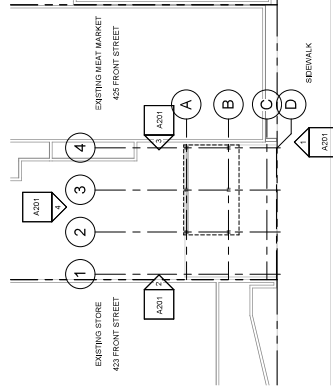
#	DESCRIPTION	DATE
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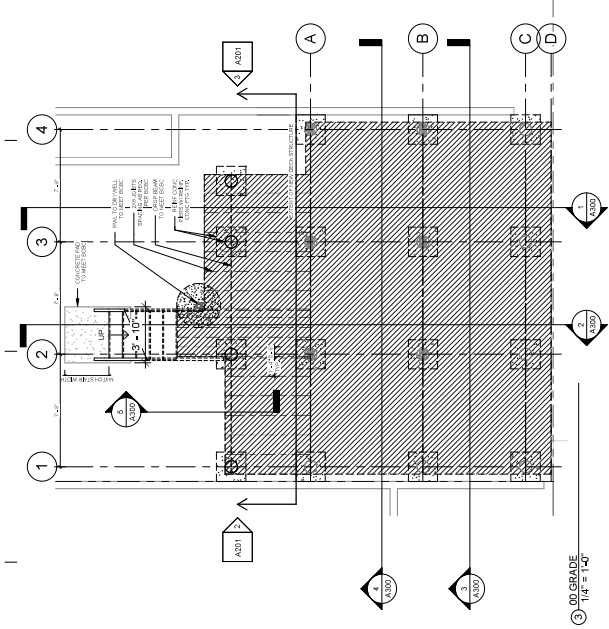
FLOOR PLANS

A101

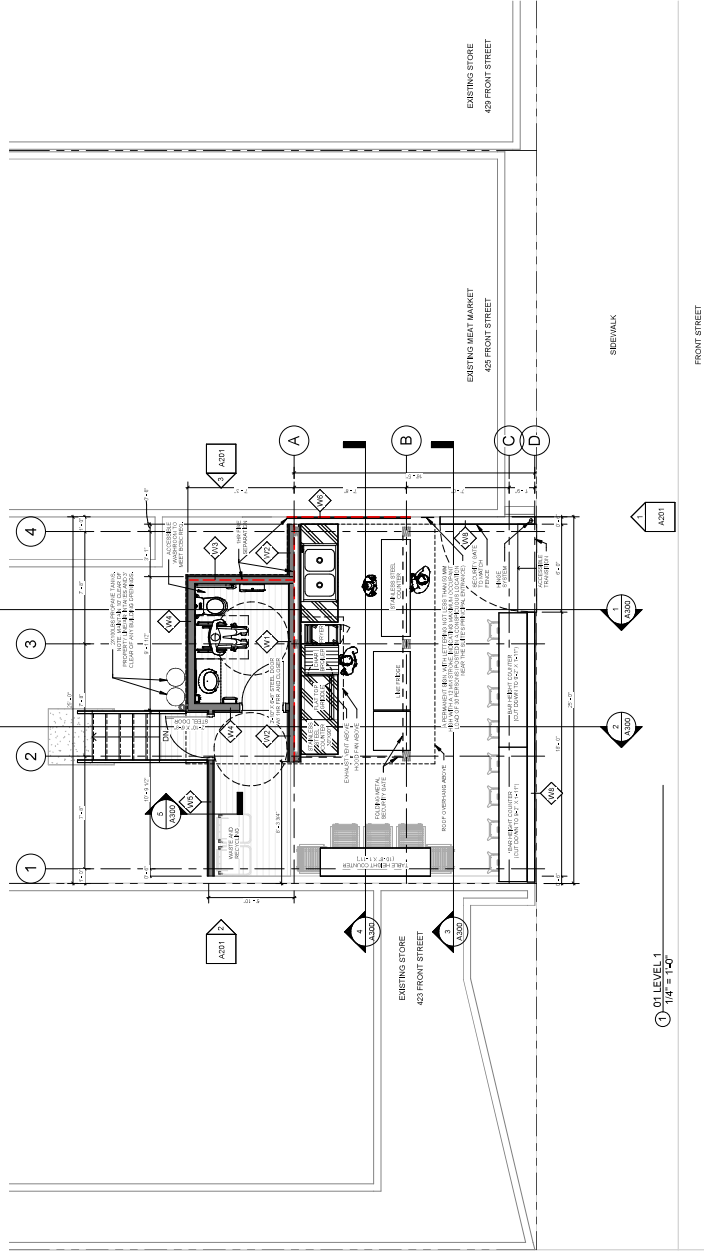
SCALE As Indicated



② 01 LEVEL 1 - Current Status
3.32' = 1'-0"



③ 00 GRADE
1/4" = 1'-0"



④ 01 LEVEL 1
1/4" = 1'-0"

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9



23003
MEAT
MARKET
PATIO
425 FRONT
STREET,
KASLO, BC
CLIENT:
ERIC'S MEAT
MARKET

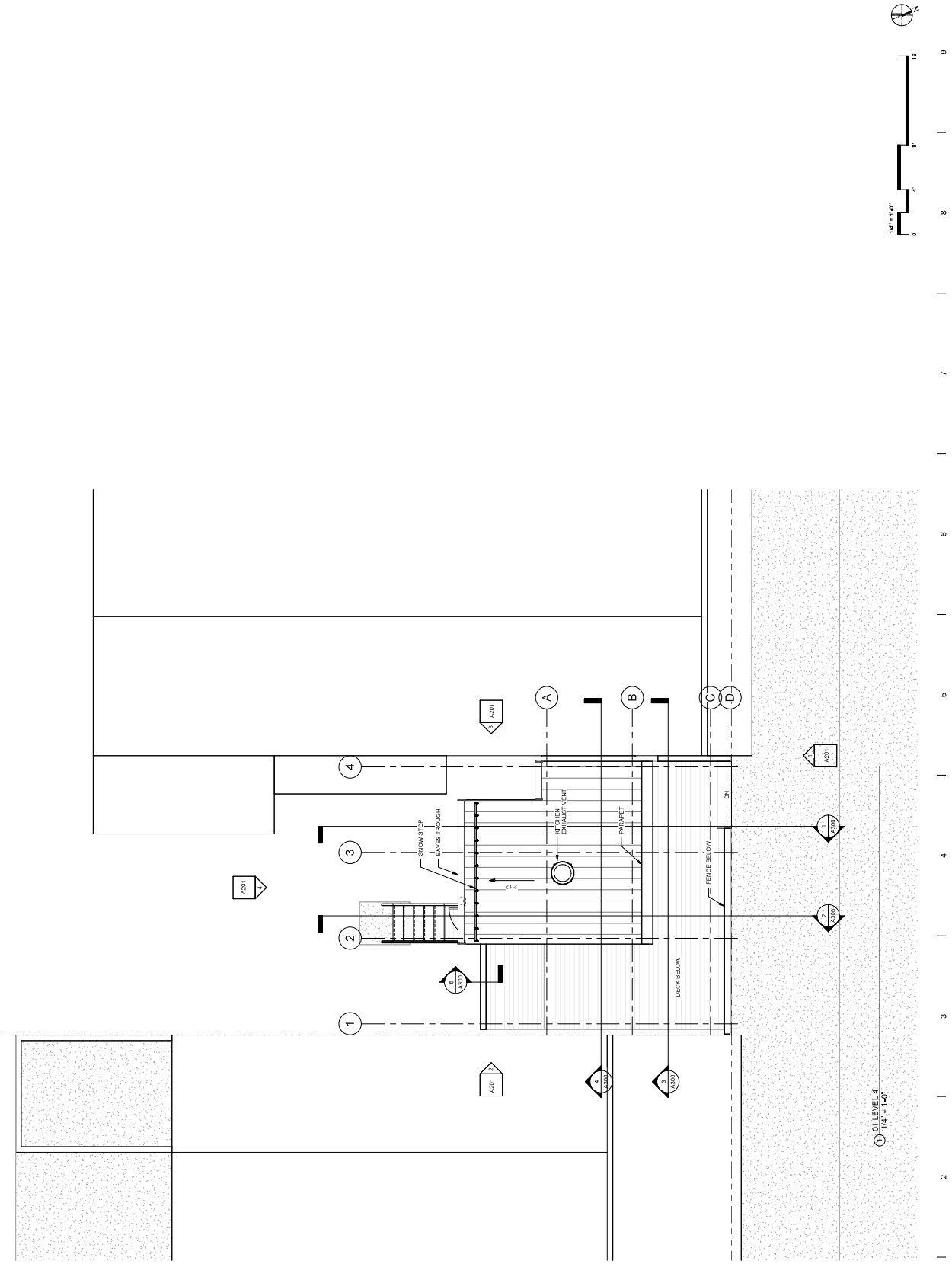
#	DESCRIPTION	DATE
1	Revised for SP & DP	2024-02-28
2	Original	2024-02-28



ROOF PLAN

A110

SCALE 1/4" = 1'-0"





23003
MEAT
MARKET
PATIO
425 FRONT
STREET,
KASLO, BC
 CLIENT
ERIC'S MEAT
MARKET

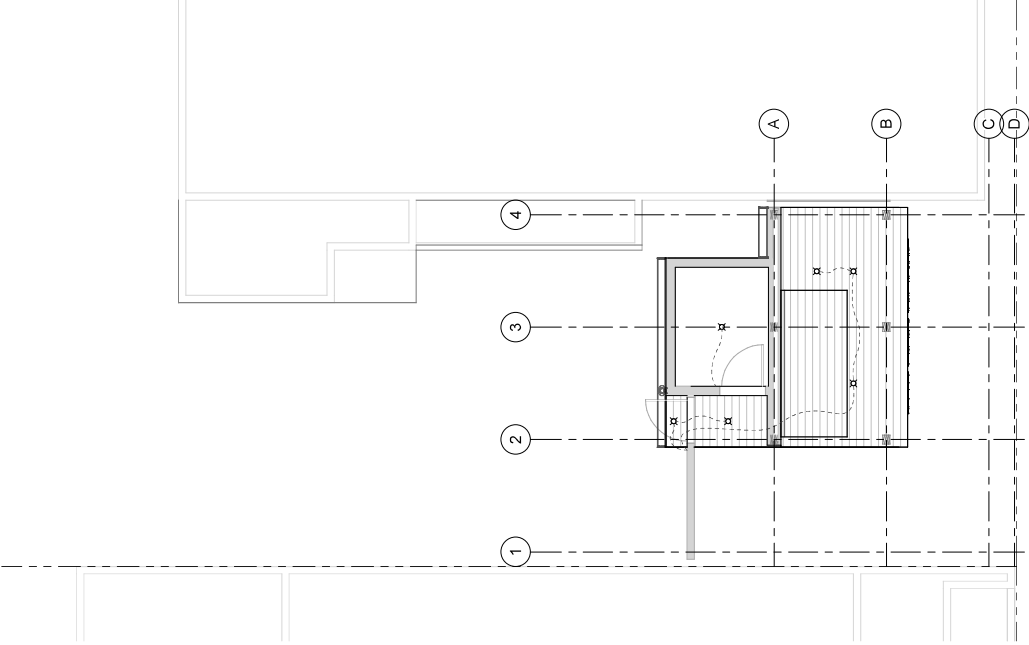
GENERAL NOTES

1. RECESSED LIGHTING INSTALLED IN INSULATED CEILINGS SHALL BE RATED AS SUCH AND LISTED AS AIR-TIGHT TO THE STANDARDS PRESCRIBED BY THE RESIDENTIAL ENERGY CODE.
2. ALL 120V, SINGLE PHASE, 15 & 20 AMP BRANCH CIRCUITS SUPPLYING RECESSIBLE LIGHT FIXTURES AND LISTED ARC-FAULT CIRCUIT INTERRUPTERS (AFCI) TYPE SHALL BE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
3. IN ALL AREAS SPECIFIED IN NEC 210.52, ALL 125 VOLT, 15 AND 20 AMPERE RECEPTACLES SHALL BE TAMPER RESISTANT.
4. PROVIDE AT LEAST TWO SEPARATE 20 AMP CIRCUITS FOR SMALL APPLIANCES IN KITCHEN, BREAKFAST DINING ROOM AND SIMILAR AREAS, WITH NO OTHER OUTLETS ON THE CIRCUITS.
5. PROVIDE AT LEAST ONE 20 AMP CIRCUIT FOR BATHROOM OUTLETS, AND OTHER OUTLETS ON THE CIRCUIT.
6. RECEPTACLES ARE TO BE LOCATED SO NO APPLIANCES ARE FURTHER THAN 2' FROM ANY PLUG. RECEPTACLES SHALL BE NO HIGHER THAN 20" ABOVE THE COUNTER.
7. PROVIDE SMALL APPLIANCE RECEPTACLES WITHIN 18" OF THE COUNTER SPACE UNDER 18", SUCH THAT NO POINT ALONG COUNTER WALL IS MORE THAN 24" FROM AN OUTLET.
8. THE MAXIMUM LENGTH FOR A CIRCULAR RECEPTACLE AND A DISHWASHER IS 18". MAXIMUM LENGTH FOR A WIRE DUPLEX RECEPTACLES FOR GARBAGE DISPOSALS AND DISHWASHERS SHALL BE 18" FROM THE BREAKER IN THE SERVICE PANEL.
9. IN BATHROOM, RECEPTACLES TO BE LOCATED WITHIN 36" FROM THE EDGE OF THE SINK.
10. LIGHT FIXTURES LOCATED IN WET LOCATION MUST BE LISTED FOR WET LOCATION AND REQUIRE WATER RESISTANT TRIMS.
11. PROVIDE AT LEAST ONE NON-DEDICATED GFCI OUTLET IN GARAGE.
12. LUMINAIRES THAT ARE RECESSED INTO INSULATED CEILINGS ARE TO BE PROVIDED TO LUMINAIRES ARE TO BE CERTIFIED AS UL LISTED AND ABID TO THE STANDARDS PRESCRIBED BY THE RESIDENTIAL ENERGY CODE.
14. ALL RECESSED LIGHTING FIXTURES IN SPACES WHERE INSULATION IS REQUIRED SHALL BE IC RATED AND SHALL BE LABELED AIR-TIGHT.

LEGEND

----- SWITCHING

KEYNOTE



① DL LEVEL 1
1/4" = 1'-0"

#	DESCRIPTION	DATE
1	Issued for P.E.P.	24-03-20



REFLECTIVE
CEILING
PLANS

A120

SCALE 1/4" = 1'-0"



1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9

GENERAL NOTES

1.

CITY APPROVAL
STAMP

LEGEND

-  EXISTING TO REMAIN
-  NEW CONSTRUCTION

KEYNOTE

Town
ARCHITECTURE INC.
Kaslo, BC
www.townarch.ca
(250) 352-3184
jones@townarch.ca

23003
MEAT
MARKET
PATIO

425 FRONT
STREET,
KASLO, BC

CLIENT:
ERIC'S MEAT
MARKET

3	Revised for P12	24-02-28
2	Drawings for Review	24-02-02
1	Proposed Exchange	24-02-02

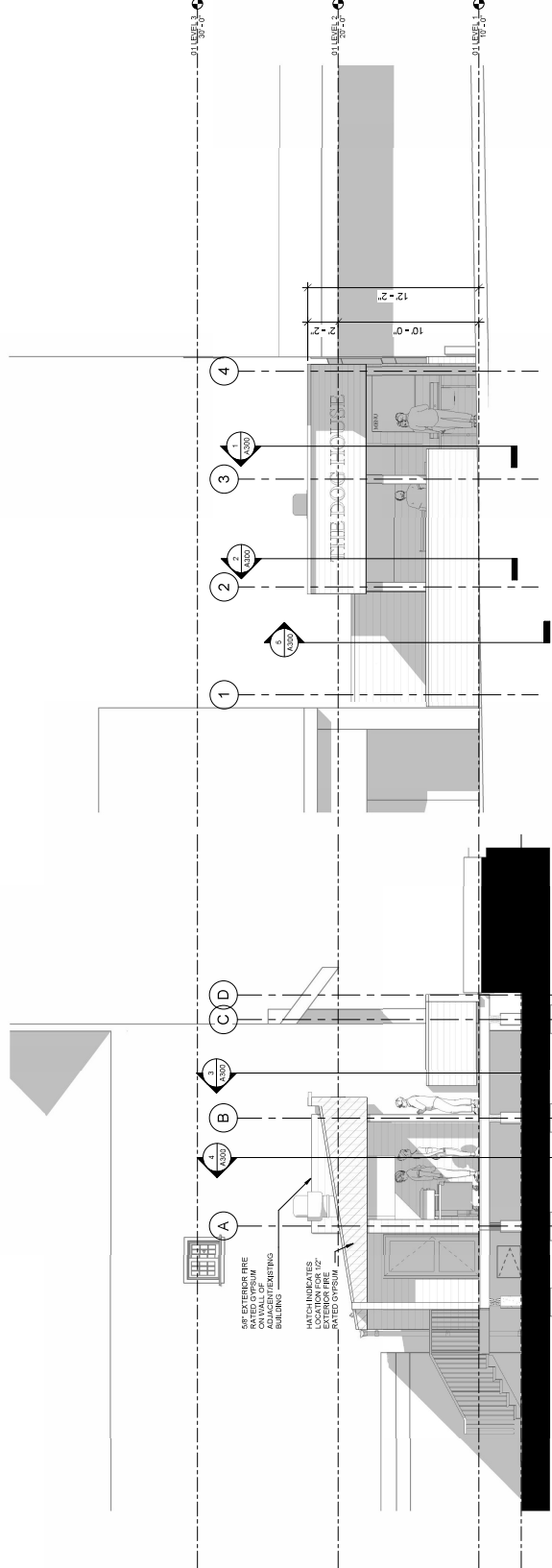
#	DESCRIPTION	DATE
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EXTERIOR ELEVATIONS

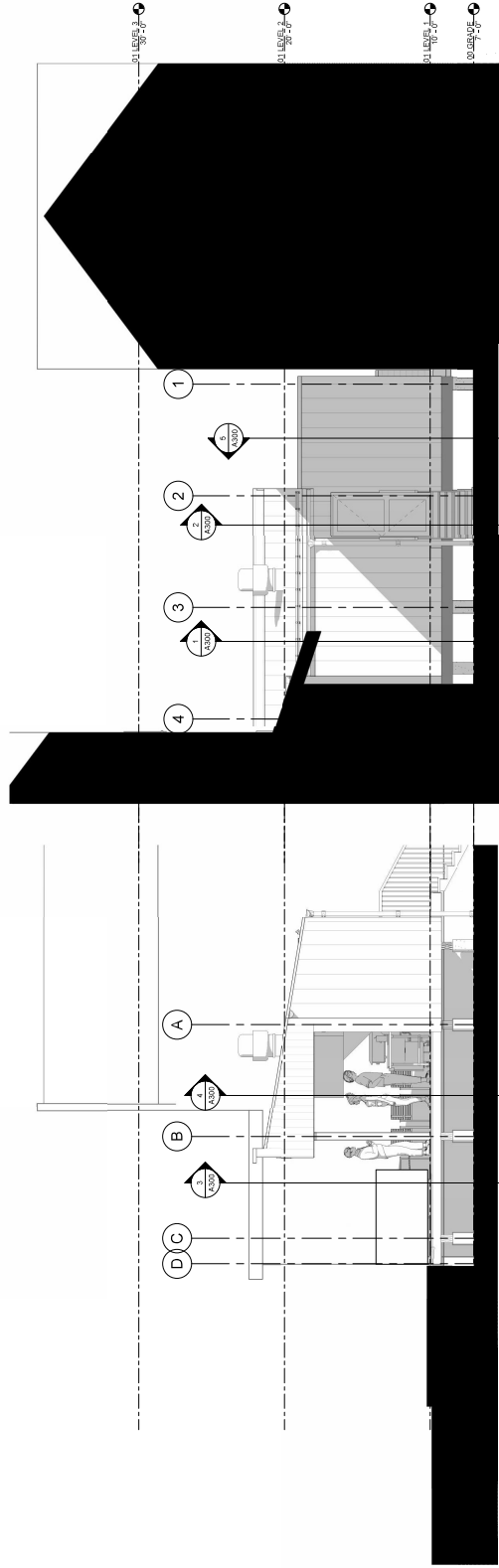
A200

SCALE 1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

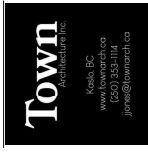
1 NORTH ELEVATION
1/4" = 1'-0"



3 WEST ELEVATION
1/4" = 1'-0"

4 SOUTH ELEVATION
1/4" = 1'-0"





23003
MEAT
MARKET
PATIO

425 FRONT
STREET,
KASLO, BC

CLIENT:
ERIC'S MEAT
MARKET

- 3. Approved by City
- 2. Drawings for Review
- 1. Project Exchange

#	DESCRIPTION	DATE
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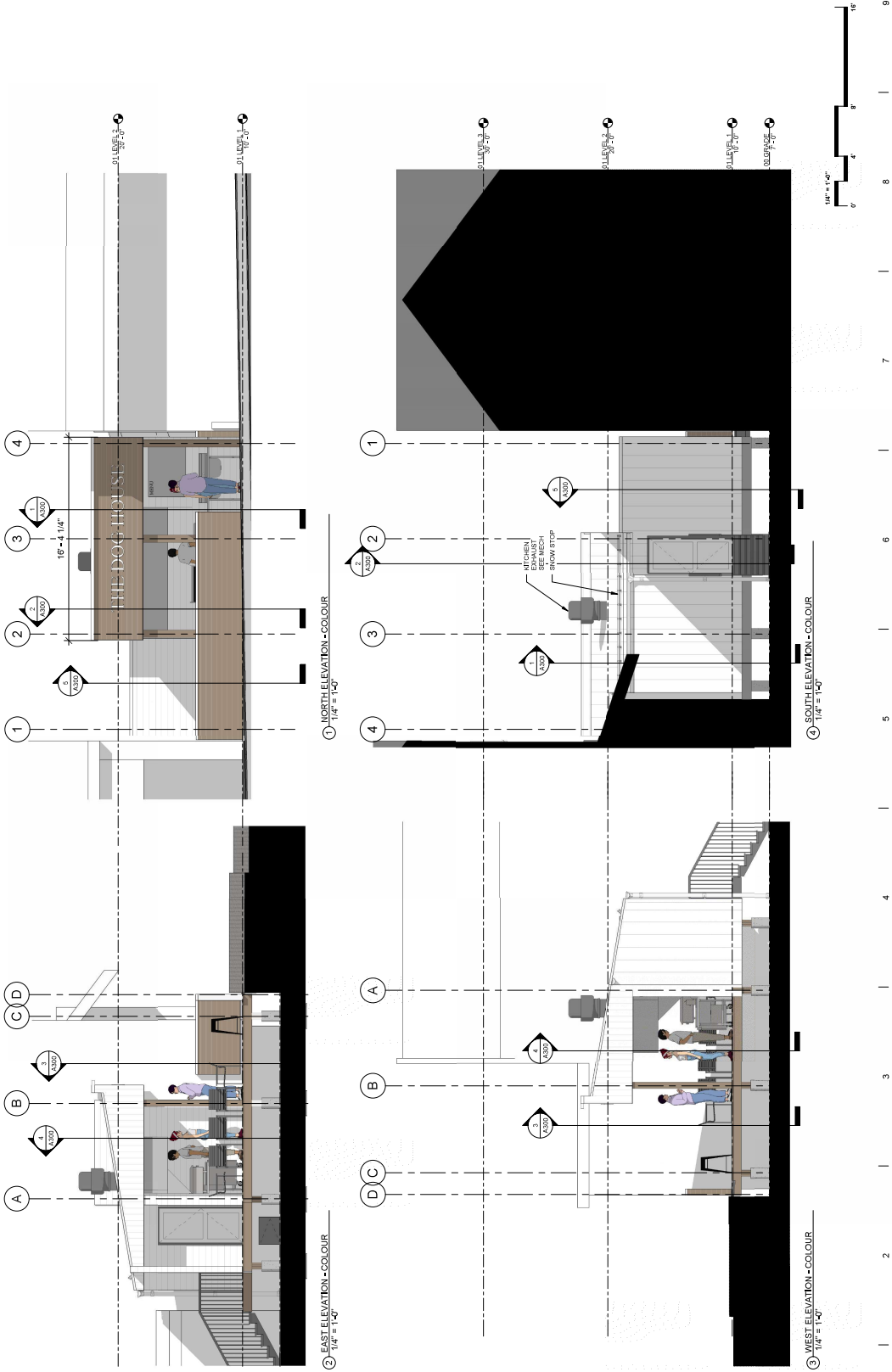
EXTERIOR
ELEVATIONS -
COLOUR

A201

SCALE As indicated

SOFFIT	TYPICAL NORTH WALLS	TYPICAL SOUTH WALLS	TYPICAL ROOF	WOOD SIDING & TABLETS	KITCHEN EQUIPMENT & COUNTERTOPS	DOORS
Profiled Metal Panel Pre Board 6" - Vertical Colour: White	Profiled Metal Panel Pre Board 6" - Horizontal Colour: White	Metal Standing Seam Probok 12" (Flat) Colour: White	Metal Standing Seam Probok 12" (Flat) Colour: White	Stained Wood Shiplap Stain: Sainish Translucent Paint: Powder coated aluminum letters Colour: White	Stainless Steel	Painted Steel Colour: White

⑤ MATERIAL SCHEME
1" = 1'-0"



① NORTH ELEVATION - COLOUR
1/4" = 1'-0"

② EAST ELEVATION - COLOUR
1/4" = 1'-0"

③ WEST ELEVATION - COLOUR
1/4" = 1'-0"

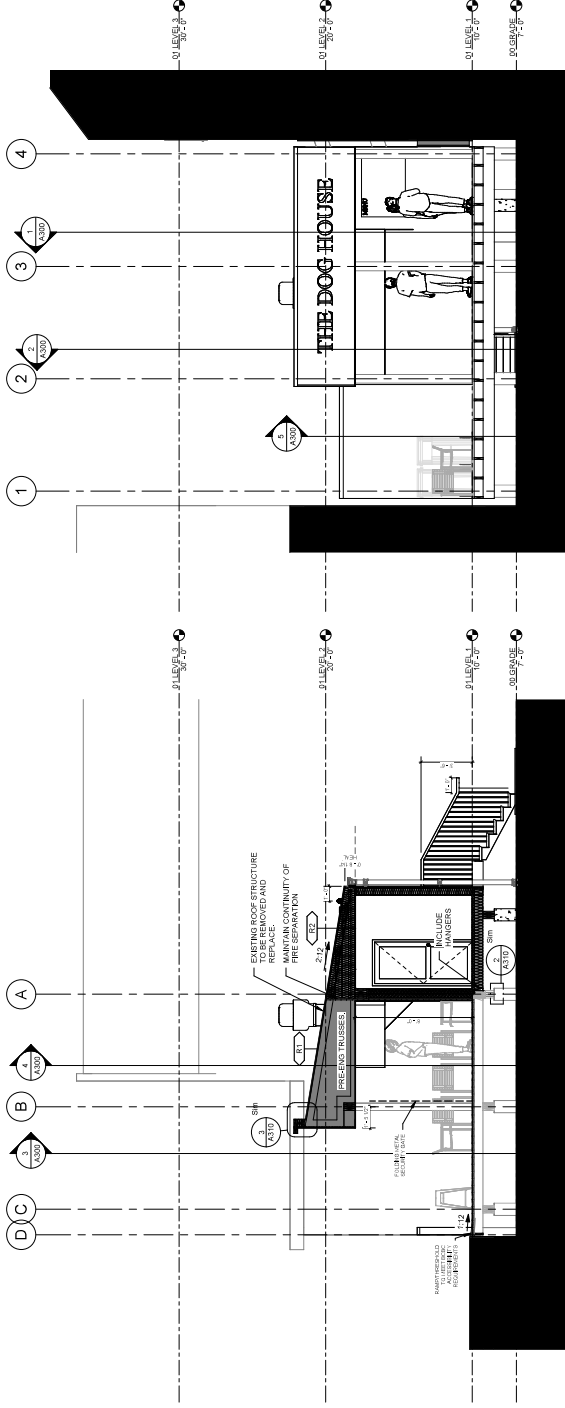
④ SOUTH ELEVATION - COLOUR
1/4" = 1'-0"

1 2 3 4 5 6 7 8 9

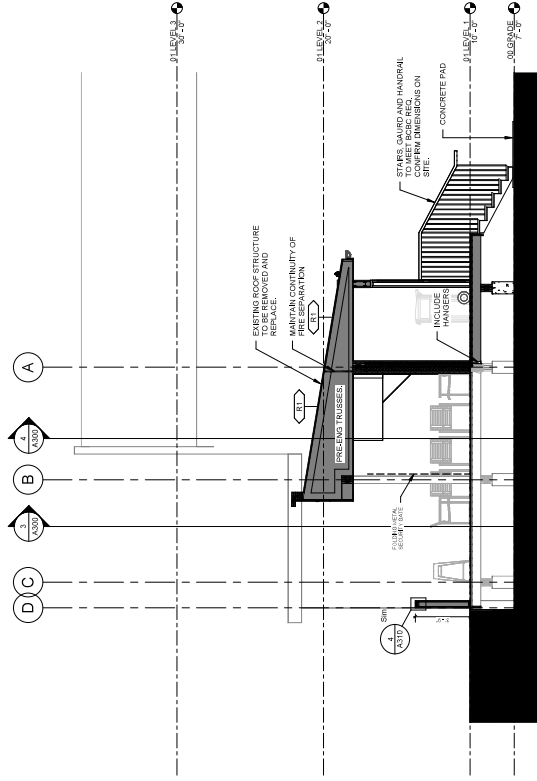
SCALE As indicated

GENERAL NOTES

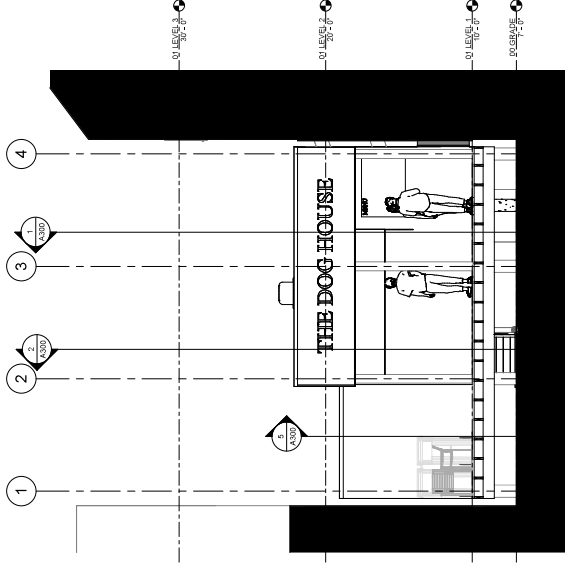
1.



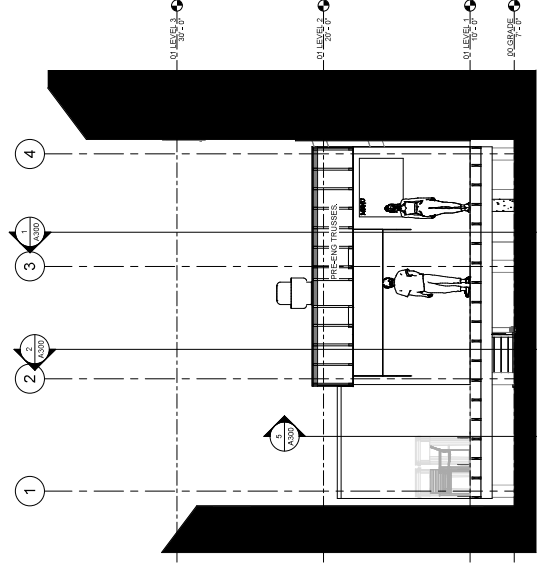
1 NW SECTION 1
1/4" = 1'-0"



2 NS SECTION 2
1/4" = 1'-0"



3 EW SECTION 1
1/4" = 1'-0"



4 SW SECTION 2
1/4" = 1'-0"

LEGEND

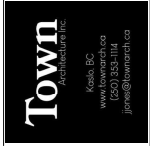
- EXISTING TO REMAIN
- NEW CONSTRUCTION

KEYNOTE

R1
R2

23003
**MEAT
 MARKET
 PATIO**
 425 FRONT
 STREET,
 KASLO, BC
 CLIENT
**ERIC'S MEAT
 MARKET**

CITY APPROVAL
STAMP



- 3. Revise for 2/2/20
- 2. Drawings for Review
- 1. Program Exchange

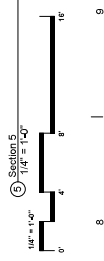
DESCRIPTION DATE



BUILDING
SECTIONS

A300

SCALE 1/4" = 1'-0"



1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9

10



23003
MEAT
MARKET
PATIO
425 FRONT
STREET,
KASLO, BC
CLIENT:
ERIC'S MEAT
MARKET

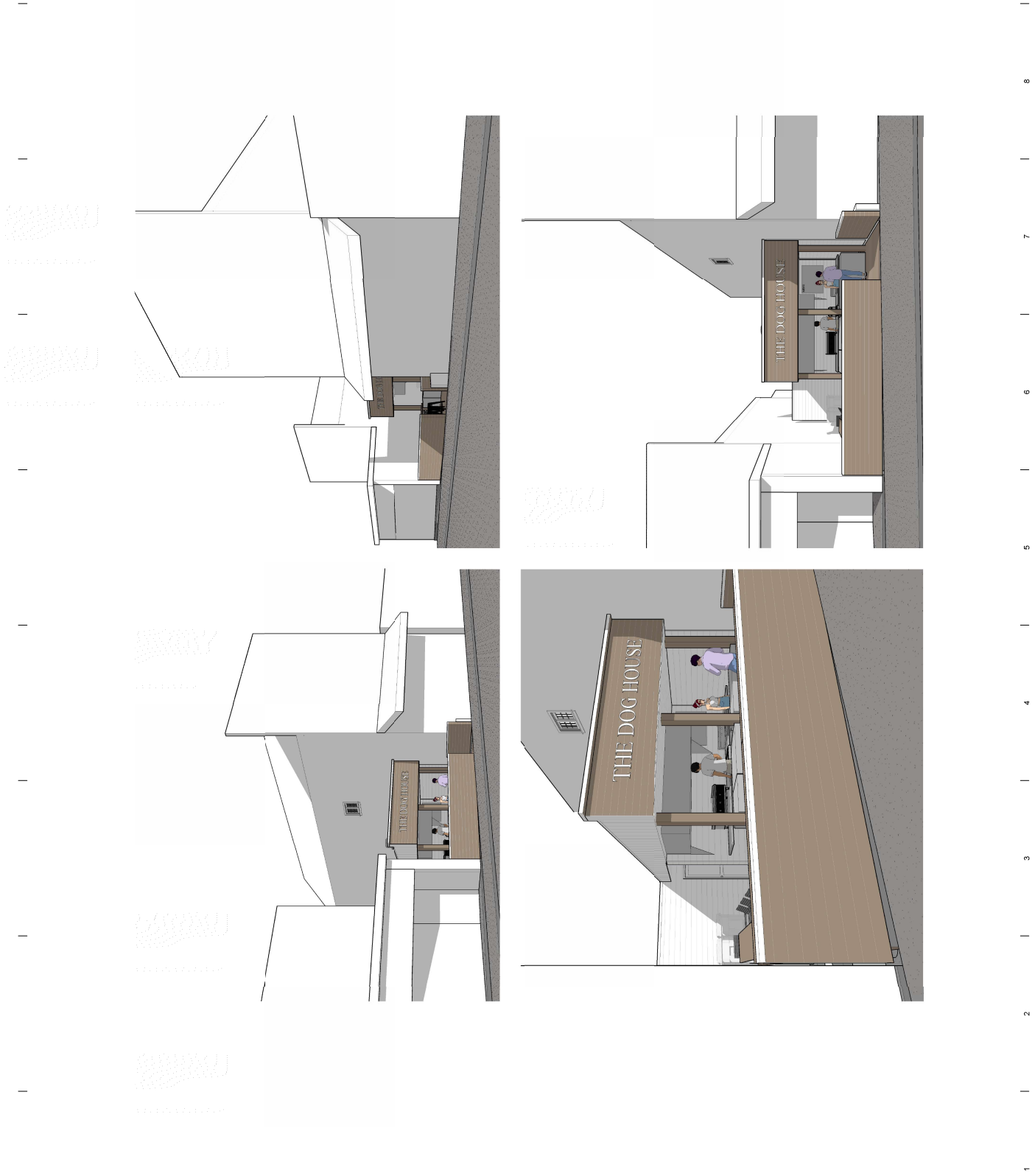
2	Revised for SP & DP	24-02-28
1	Design for structure	24-02-28
#	DESCRIPTION	DATE



3D VIEWS

A801

SCALE



1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9

Town
ARCHITECTURE INC.
Kaslo, BC
www.townarch.ca
780 553 3188
jtjones@townarch.ca

23003

MEAT
MARKET
PATIO

425 FRONT
STREET,
KASLO, BC

CLIENT
ERIC'S MEAT
MARKET

#	DESCRIPTION	DATE
1	Inserts at L.P.	24/02/24



RENDERINGS

A802

SCALE



Project Description

Build a covered deck on our property on Front Street to provide ready-to-eat food service. This will be an extension of Eric's Meat Market's sausage business, providing hot dogs and smokies to locals and tourists looking for a quick meal.

Site Area and Coverage

Currently, 7.62 metres of our 15.24 metre lot at 425 Front Street is unused. It is a flat lot with a 0.76 metre retaining wall at the sidewalk. We propose to build a deck that spans across from our building to the Kaslo E-Kruise building (7.62 metres) and will reach 4.87 metres from the sidewalk.

Water/Sewer

All water and sewer lines on 425 Front Street connect from underneath the existing building and do not cross through the proposed building site. We plan to update our water line to a larger size, as stated in a previous application.

Drainage

This area has excellent natural drainage. Since the date of construction in 1894, there have been no eavestroughs on either building on both sides of the unused lot space. Water accumulation has never been an issue.

We, the undersigned owners of Eric's Meat Market, would like to build a partially covered deck, accessible from the sidewalk, on a currently unused portion of the 50' lot at 425 Front Street. We plan to offer light meals and snacks May through October, thus expanding our contribution to food service in Kaslo's downtown core. Expanding Eric's in this way will create three new full-time jobs during the tourist season and will help alleviate the food service shortage that has become an issue in the last several years, especially since we plan to be open on days when many local restaurants are not.

The plan will not impact parking since no portion of the development will be on the sidewalk or roadway. The deck will also be wheelchair accessible. Food will be heated and served from a "summer kitchen" that we will install for the season and remove in the fall. We do not plan on providing entertainment.

We believe that our proposal satisfies many of the objectives outlined in Kaslo's Official Community Plan.

For example:

- *4.2 General Form and Character Of Existing and Future Land Use*
- *4.2.1 Objectives*

- 1. To encourage a land use pattern that provides for the health, safety, convenience and enjoyment of residents and visitors, while striving to recognize existing land use patterns and minimize future land use conflicts.*
- 2. To ensure accessibility is considered for planning and design of public buildings, the public realm, and public parks.*
- 8. To encourage appropriate development in areas where infrastructure and services are already established or available nearby.*
- 9. To utilize existing developed land with greater efficiency and to its full potential.*

- *6.1.2 General Commercial Objectives*

- 1. To encourage businesses, including homebased businesses, live/work and remote working opportunities, that are compatible with existing residential uses.*
- 2. To provide a range of retail and services within the Village to meet the daily needs of its residents and surrounding RDCK Area D.*
- 3. To foster business start-ups, innovation, and entrepreneurship by capitalizing on the Village's technological infrastructure.*
- 4. To provide employment opportunities and support the local economy.*

- *6.2 Core Commercial*
- *6.2.2 Objectives*

- 2. To encourage the highest and best use of the land through mixed-use developments that include compatible ground-floor, street-front commercial uses with offices or residences above or to the rear (Eric's Meat Market does have an occupied residence on the second story)*

- *16.3 Heritage and Commercial Core DPA*
- *16.3.3 Guidelines*

2. Developments in this area should also enhance the pedestrian experience by engaging the street both visually and physically and highlight the views and connections to the surrounding landscape.

Currently, the portion of the lot on which we hope to build is under-utilized and does not contribute to a lively streetscape, the heritage character of Front Street or to the local economy. It appears as a negative space without function or charm next to the Meat Market which is a fine example of a late 19th Century false front mercantile building.

We have reviewed the Village's Commercial Core Design Guidelines and have incorporated its suggestions where possible. Our plan is supported by the guidelines' recommendation that new structures should enhance the articulation of the massing of the street scape (See page 4)

“Setback for new buildings should be governed by the precedent of adjacent buildings....Pattern in the street scape is created by the articulation, or 'ins and cuts', of the building facade. Exterior wall surfaces that are articulated should be encouraged over flat, unbroken surfaces.”

We're happy to provide more information and are available at any time to discuss this further.

Sincerely,

Forrest Collier and Daniella Collier

Dear Mayor, CAO, and Village Staff:

February 29, 2024

One year ago, we submitted a Heritage Development Permit for our deck that was approved by the village. In the 'rationale' portion of the application, we included our intent to use this deck as an 'summer kitchen' and serve food. Upon reading this, the village should have informed us that we had several more steps to take in order to proceed properly. We were also told that we could not apply for an RDCK permit until the Heritage Application was approved and that the RDCK and the Village would communicate about the project. We were misled several times. The village dropped the ball, and our progress on the deck came to a halt as the RDCK put up a stop work order part way through the project.

Yesterday we submitted an update to our plans. These plans have taken 7 months to develop, with an architect and an engineer working closely with the building inspector. Upon request, today we are submitting our Heritage Development Permit for the second time.

We ask two things of the Village:

- 1) Waive the charges and fees on this permit, as we have already paid the cost of these for this same project.
- 2) Make this high priority and have some answers for us by next week. Dan Siminoff from the RDCK said he would have his end(RDCK building permit) reviewed by next week, so we don't see why this would be any different for the Village.

Thank you,

The Owners of Eric's Meat Market

TITLE SEARCH PRINT

2024-03-07, 11:42:40

File Reference:

Requestor: Catherine Allaway

Declared Value \$420000

****CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN****

Land Title District

NELSON

Land Title Office

NELSON

Title Number

CA9998906

From Title Number

KW39800

Application Received

2022-06-13

Application Entered

2022-06-15

Registered Owner in Fee Simple

Registered Owner/Mailing Address:

ERIC'S MEAT MARKET LIMITED, INC.NO. 1355159
3526 HANSON RD., PO BOX 1270
AINSWORTH, BC
V0G 1A0

Taxation Authority

Nelson Trail Assessment Area
Kaslo, Village of

Description of Land

Parcel Identifier:

024-736-716

Legal Description:

PARCEL D (KP25532) BLOCK 9 DISTRICT LOT 208 KOOTENAY DISTRICT
PLAN 393

Legal Notations

THIS TITLE MAY BE AFFECTED BY A PERMIT UNDER PART 29 OF THE MUNICIPAL
ACT, SEE KL63665

Charges, Liens and Interests

Nature:

MORTGAGE

Registration Number:

CA9998958

Registration Date and Time:

2022-06-13 15:04

Registered Owner:

ROYAL BANK OF CANADA

Duplicate Indefeasible Title

NONE OUTSTANDING

Transfers

NONE

Pending Applications

NONE



February 29, 2024

Premier David Eby

Via email: premier@gov.bc.ca

The Honourable Bowinn Ma

Minister of Emergency Management and Climate Readiness

Via email: EMCR.Minister@gov.bc.ca

The Honourable George Heyman

Minister of Environment and Climate Change Strategy

Via email: ENV.Minister@gov.bc.ca

Dear Premier Eby, Minister Ma, and Minister Heyman:

RE: Supplemental Feedback on EDMA and Regulations for Local Authorities

Please accept this letter as supplemental feedback to the RDCK Board of Directors letter sent to Premier Eby (December 20, 2023) and notification that at the February 15, 2024, Regular Board Meeting the Regional District of Central Kootenay Board of Directors adopted the following resolution:

That the Regional District of Central Kootenay Board send a second letter to the Premier of British Columbia, the Minister of Emergency Management and Climate Readiness, and the Minister of Environment and Climate Change Strategy expressing its deepening concern to the Province on its Emergency and Disaster Management Act and related Regulations for Local Authorities, and that the letter also request that the Province provide concrete implementation timelines and a roadmap along with supplemental funding to address the capacity and resourcing required to complete this work, and that the letter be copied to all 27 Regional Districts, municipalities in the RDCK, and MLAs for the RDCK.

In principle, the RDCK Board of Directors expresses its alignment with the overarching goals of the Emergency and Disaster Management Act, recognizing the imperative for adaptive strategies in the face of evolving climate challenges. We acknowledge the Act's emphasis on the need for a collective and comprehensive approach to emergency and disaster management. However, as we delve into the intricacies of the proposed legislation, several critical aspects have emerged that warrant thorough concern.

Funding and Cost to the Tax Payer

The RDCK serves approximately 60,000 residents within its 22,000 square kilometers giving it a population density of 2.7/km². Our region consists of 11 electoral areas and nine member municipalities, 350 watersheds, including four that are significant, with two Columbia Water Treaty dams and three reservoirs.

The vast majority of populated areas are served by 30 established fire departments, which includes nine municipal fire departments. A significant portion of the RDCK is Crown Land, and of our electoral areas, eight have *some* zoning whereas three have none. The combination of these factors paints the complex picture that is the RDCK.

Consequently, our regional district struggled to meet requirements in the previous Emergency Program Act given the above factors, the increasing frequency and severity of disaster events, related costs, and the impacts of climate change. Our staff, beyond those hired as Emergency Program Coordinators, rise to the challenge year after year, leaving their regular positions to work in the EOC and respond to incidents. Further, DM Richards indicated in their response to Chair Wagner of Cariboo Regional District: “the provincial government signaled that it intends to make regulations that will limit the minimum required scope of regional district risk assessments and emergency management plans to geographic areas for which the making of plans is most critical”. While we understand that “risk assessment and planning requirements under the EDMA will be phased in” Board is concerned that the Province has not signaled, in tandem, that it will step forward with reasonable funding to support such activities. Overall, EDMA increases the role of local government without allocating funding to support its implementation. As guidance, previous NDMP-funded risk assessments undertaken for a fraction of our region cost close to \$5 million, without factoring any actual mitigation work. A benchmark example could be the structural mitigation required for a single steep creek in the region was assessed at more than \$10 million which does not yet include the expected annual operations and maintenance cost to tax payers. While the \$40,000 allocated to working with Indigenous Governing Bodies is welcome, the above examples demonstrate the inadequacy of funding is needed to implement EDMA. The Regional District will foreseeably need to hire consultants and/or more staff to ensure compliance. Plainly, with its primary funding mechanism being property taxation, the RDCK would not have the financial resources to achieve the requirements.

Addressing Residents’ Concerns

In addition to the Board’s expressed concerns, our residents are also voicing apprehension for the Act. Directors are receiving feedback and questions about how they perceive the Province to be overreaching into local jurisdictions and granting themselves powers that infringe on individual rights. For example, the new definition for “emergencies” that includes terrorism, rioting, and security threats, does not state how these will be enforced in a regional district since it does not have jurisdiction or direct control of law enforcement. As it stands, the Province’s lack of clarity and communication with the public is making Local Jurisdictions the targets for residents’ anger and frustration. Without clarification from the Province, Regional Elected Officials are the continued targets of residents’ questions and concerns without being able to answer many of them, further increasing public angst about the EDMA. The RDCK Board interprets the changes as an overstepping by the Province on the increased powers it is assuming and requiring of Local Authorities, particularly with “emergencies” that fall under the criminal code such as terrorism, rioting and security threats. This seems to be an outdated vision of emergencies based on old emergency management principles of “civil defense”. We are highly concerned that the Province has given itself increased powers (expanded definition of emergency, offence penalties, etc), how the Act recognizes and aligns with individual rights of residents, and justify the timing for an increase in emergency management costs downloaded to taxation given the current high cost of living. Local governments cannot be expected to shoulder the public outcry on what is being provincially imposed, nor should we be expected to defend what we ourselves do not fully understand.

Unintended Consequences

The RDCK Board is also highly concerned that the new Act and related Regulations could have unintended consequences that we have not had time to consider given the hasty passing of the new legislation. For example, how might new requirements impact climate migration in the midst of a housing shortage? How might publicly available risk assessments for all foreseeable hazards effect insurance affordability and availability at a time when people are already needing to make difficult financial choices? Furthermore, how might new requirements of volunteers impact emergency response when they are often the backbone agency in remote areas of the RDCK? Like other regional districts, we urge the Province to consider that ESS, SAR and other emergency related volunteers qualify for incentives such as tax credits and stipends as outlined by the OFC for firefighters.

While we were initially deeply worried about how this legislation might diminish their capacity to operate effectively and efficiently, we were pleased to learn that EMCR had met with BCSARA and member SAR groups, which helped EMCR understand their concerns regarding EDMA implementation and resulted in several informed decisions made by ADM Maley as the Provincial Administrator. Similarly, we hope that the Province creates the space and time needed for Regional Districts like ours to provide proper, well thought out feedback for the regulation. Given the important ramifications of EDMA and its regulations, we would like to have further input on the regulation process and ensure they are designed appropriately for regional districts given their uniqueness. Again, our emergency management staff are already stretched thin with their regular scopes of work. Therefore, the Province must understand that fulsome policy analysis, communication to the Board about changes, and feedback to the Province are tasks that cannot happen *off the side of one's desk* as they merit diligent attention and response.

A Way Forward, Together.

At a time when institutional trust in government is waning, our hope is for a delivery of policies and services that are in line with the values of openness, integrity and fairness. This is an incredible opportunity for the Province to demonstrate leadership by listening to its jurisdictional partners and their residents by aligning required changes with concrete and reasonable timelines, adequate funding to address the capacity and resourcing required to complete this work, and robust public education campaigns. As such, the RDCK supports the request to create a UBCM working group on the matter, as other Regional Districts have called for.

Like the rest of Canada, the RDCK is experiencing disasters more often, more severely, and with growing social, environmental, and economic impacts. EM-related costs are ballooning and projected to keep rising, exacerbated by climate change and continued asset concentration in high-risk areas. It is a challenge that requires thoughtful collaboration and strategic funding across jurisdictional boundaries. We are a supportive partner at the table, but there is a limit to the tax base and what should be expected from local authorities and their residents.

Sincerely,



Aimee Watson
Board Chair, Regional District of Central Kootenay

cc:

- UBCM Executive
- MLA: Brittany Anderson
- MLA: Hon. Katrine Conroy
- All Regional Districts in BC
- All RDCK Municipalities: City of Castlegar, Town of Creston, Village of Kaslo, Village of Nakusp, City of Nelson, Village of New Denver, Village of Salmo, Village of Silverton, Village of Slocan

Karissa Stroshein

Subject: FW: Film Liaison Enquiry

From: Tree Vor

Sent: Wednesday, February 28, 2024 3:18 PM

To: Karissa Stroshein <admin@kaslo.ca>

Subject: Film Liaison Enquiry

Good Afternoon,

My name is TreeVor and I work with the Kootenay Regional Film Commission. As we prepare for a growing number of film productions in the Kootenays we are acknowledging the importance of having a relationship with all of our Kootenay cities, towns and areas.

My question is, do you have a film liaison for film productions that may come to Kaslo and, if not, we are wondering if you would be able to appoint someone. This person would field any film related calls or enquiries as well as be able to provide permit information when requested. John Wittmayer, the film commissioner, is in the process of putting together a turn key permitting process to make it easier for you folks if the need arises.

If you could forward my email to someone you think would be a good person to talk to about this, I would appreciate it. Thanks for your time.

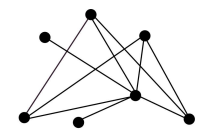
--

TreeVor

Kootenay Regional Film Commission

250-444-1744

www.kootenayfilm.com



KOOTENAYFILM

Karissa Stroshein

Subject: To Mayor and Council

From: Michelle Poulin <m9poulin@gmail.com>

Sent: Wednesday, February 28, 2024 6:46 PM

To: Karissa Stroshein <admin@kaslo.ca>

Subject: To Mayor and Council

In regards to the artwork in this park, it's nice to have the artwork displayed, but perhaps you would consider displaying Kaslo area artist's work for future displays.

Phil Trotter / Michelle Poulin



Infrastructure
Canada

Ottawa, Canada
K1P 0B6

Village of Kaslo
Ian Dunlop
PO Box 576, Kaslo, BC, V0G 1M0

Dear Ian Dunlop,

Thank you for submitting your application to the Government of Canada's Green and Inclusive Community Buildings (GICB) program.

We received hundreds of thoughtfully prepared applications for meaningful projects to improve the quality of community spaces from coast to coast to coast. Due to the high level of interest, we regret to inform you that your project, *New Kaslo and District Public Library* (AP-000003269), has not been selected for funding under this program. For more information about how we evaluated applications, you may wish to consult the [Applicant Guide](#). Please note that all funding decisions are final.

We understand that your organization put significant effort into preparing this application. We commend your commitment to making your community a more sustainable place to live, and for seeking to improve the lives of all residents. Should new funding opportunities arise, Infrastructure Canada will contact you to provide more details and encourage you to submit a new application.

If you have additional questions about the program, please contact us at gicbp-pbcvi@infcc.gc.ca and we would be happy to answer them. Additionally, you can find more information about our other funding programs at www.infrastructure.gc.ca.

Thank you once again for your application, and my very best wishes for your future endeavours.

Yours sincerely,

Paul Loo
Director General
Resilient and Innovative Communities Directorate
Infrastructure Canada

From: Cleo Corbett <ccorbett@cmhc-schl.gc.ca>

Sent: Thursday, February 29, 2024 10:18 AM

To: Linda Tynan (CAO Kaslo) <cao@kaslo.ca>

Cc: Carolyn Gisborne <cgisborn@cmhc-schl.gc.ca>; Holly Lemme <hlemme@cmhc-schl.gc.ca>

Subject: Update on your Housing Accelerator Fund Application - Kaslo

Hello Ian, hope this note finds you well.

I'm writing to follow up on your application to the Housing Accelerator Fund (HAF), and to inform you that Kaslo was not selected for funding.

HAF encourages local governments to implement lasting initiatives that remove barriers to housing supply, accelerate the growth of supply, and support the development of complete, low-carbon and climate-resilient communities, which are affordable, inclusive, equitable, and diverse. Following the launch of HAF, local governments from across Canada enthusiastically answered the call, with more than 500 applications received. Unfortunately, we were not able to support all applications with the funding available under the program.

CMHC's Municipal Relations team is also available to meet with you to explore ways that we can partner to support your housing objectives. The local representative for your area is Carolyn Gisborne, CC'd here. Please feel free to connect with her at your convenience.

Thank you for your interest in the Housing Accelerator Fund.

Regards,

Cleo Corbett, MCIP, RPP (she/her/elle)

Sr. Specialist, Municipal Relations

Client Development and Government Relations, Client Solutions

604.714.3711 | Vancouver, BC

Canada Mortgage and Housing Corporation

Société canadienne d'hypothèques et de logement

cmhc.ca | schl.ca

Creating a new generation of housing and giving more people living in Canada a place to call home.

Créer des logements novateurs et fournir un chez-soi à un plus grand nombre de personnes vivant au Canada.

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From: Joy Lukacs [REDACTED]
Sent: Friday, February 16, 2024 12:49 PM
To: Karissa Stroshein <admin@kaslo.ca>
Cc: Erika Bird <erikabird11@hotmail.com>; Ken Butt [REDACTED]; Lynn Goldsborough [REDACTED]; Mayor Hewat <mayor@kaslo.ca>
Subject: Re: Monday, March 25th Meeting?

Hi Karissa,

[REDACTED]

side note I'd like to step down from this committee after this meeting. Please do what you can to find someone to take my place.

Thank you,

Joy Lukacs
[REDACTED]

Karissa Stroshein

Subject: RE: South beach subdivision

From: Michelle Poulin

Sent: Saturday, February 24, 2024 7:19 AM

To: Karissa Stroshein <admin@kaslo.ca>

Subject: South beach subdivision

We are in support of Mr.Unruh's subdivision and use of the south beach as proposed by Mr.Unruh.

Phil Trotter and Mikchelle Poulin

Karissa Stroshein

Subject: FW: re South Beach development - resident opinion

-----Original Message-----

From: Karen Pidcock

Sent: Sunday, February 25, 2024 6:06 PM

To: Karissa Stroshein <admin@kaslo.ca>

Cc: Emily Mattas

Subject: re South Beach development - resident opinion

To Kaslo Village Council:

I realize I've missed earlier deadlines for input, but hope you'll be willing to add my opinions/suggestions to those received by concerned residents of the village.

If there were feasible ways to encourage the present South Beach owner, Mr. Unruh, in the interest of the long time picture of keeping that portion of land free from any development, that would be my first wish. However, that's dreaming, I suppose; and the present task is to assure the land under development consideration is made flood-safe by the work underway now, by shoring up the south river bank.

Having fished with my husband from the shore, and enjoyed some wonderful swims at the beach, my chief concern is for the shoreline to remain open for public use.

I particularly would like, if possible, that the Village retain ownership of the whole development portion, so as not to lose any of the important recent work on the OCP, while I can appreciate that there will need to be careful oversight of how any development proceeds, so can imagine that's an added job for village resources!

I especially I think there need to be far less RV spaces...and more possibilities for permanent housing given the ongoing need for housing in our midst for workers, young families...and tiny houses on wheels seems a good idea to explore and consider seriously.

I appreciate keeping the public informed of all future deliberations, meetings, and information re decisions made by the Village Council via the Valley Voice; and announcements of public discussion/open meetings given full notice to residents.

Thank you for your careful consideration and deliberations re this important project...so that OCP isn't ignored, and as much of the land is kept as natural as possible!

Respectfully,

Karen Pidcock

KASLO YARD & GARDEN DEBRIS PICK-UP STARTS

MONDAY, APRIL 22nd, 2024!



The Village of Kaslo will be picking up organic yard & garden trimmings only, free of charge, in an effort to help our residents tidy up yards and adjacent boulevards. The Public Works Crew will start Monday morning in lower Kaslo and work their way around the municipality.



A few things to keep in mind:

- Material must not be placed out any sooner than the week prior to scheduled collections.
- Ensure only accepted material is placed out for collection. The crew will not sort through unacceptable material and will not pick it up.
- Leaves, dead plants and grass trimmings must be bagged in compostable bags available for purchase at local retail outlets.
- Small branches must be cut to lengths less than 6 feet and bundled.
- Ensure adequate access for equipment.
- Everything must be ready for pick-up from your boulevard or lane by Sunday April 21, 2024.
- No unwanted yard fruit is to be left out under any circumstances.

**Any questions? Call the Village office at 250-353-2311
during office hours 10am-3pm weekdays!**





VILLAGE OF KASLO and AREA D

Spring Recreation Grant Funding Applications Are Invited

The Village of Kaslo is calling for submissions from all organizations wishing to access up to \$500 for activities which promote well-being. Funding is open to organizations within Kaslo & Area D. A written application is required prior to 12 noon Thursday March 21, 2024 to be considered. Spring Recreation Grant Funding Application forms are available at <https://kaslo.ca/p/grants> or from City Hall.

Have questions?

Call the Village office at 250-353-2311 or Email admin@kaslo.ca.

Kaslo & District Arena Association

Board Meeting Agenda Date: Monday February 26 ,2024

Present to the meeting: Josh (Director), Molly, Rick, Jo, Blair, Nate, Connor, Rogan.

1. **Call to order** – 6:00 pm
2. **Adoption of the Agenda**

THAT the agenda for the 2024.02.26 KDAA Board Meeting be approved as presented

Carried

3. **Adoption of the Minutes**

THAT the minutes of the 2024.01.29 KDAA Board Meeting be approved as presented

Carried

4. **Unfinished Business**

- Last day for hockey is Sunday March 17th
- Brandon will let board know when the ice is ready to take out. Might need volunteers to help.
- Need couple more volunteers for serve it rite for beer gardens for May long.
- We should have someone from the arena staff have their first Aid certificate. Have the certificate on hand at the arena is we get questioned. (Connor find out next AED course?)
- Jo look into Uline for garbage bin and trolley for staff. We also need lids for the recycling garbage bins with holes cut out of them.
- We need better communication for ice rentals. Use a google calendar so we and the public know what days the ice rink is booked.
- Look into upgrading cell phone for the arena. Staff should have cell phone on hand for getting a hold of someone.
- Ask John Carlson about overage garbage bags. 20 bags per month for \$40.00 per month
- Due to more interests in hockey we may have to add more ice times and condense the schedule for next year.
- Have a meeting with all the users to find out ice times for next year.
- Next year possibly start the season Oct.1 – End of Mar. 30th. Extending it by a month

- Matt should get compensated for his welding work on the Zamboni.
- Kitchen grant. We need to know if we want to be a commercial kitchen? How many people do we tend on feeding and if we did do upgrades to the kitchen. We could rent out the kitchen for future rentals.
- Lockers to be installed in the snack bar bathroom. 5 single and 5 doubles lockers could be installed and rented out. \$250 a year for double and \$125 for single. Install a shower in the other bathroom. We will look into how much for materials. Roughly 1000.00-1,500.00.

5. **Treasurer's Report**

Receive financials

Carried

6. **Next Meeting** - Monday March 18th 2024

7. **Adjourn-** 7:45 pm



Kaslo infoNet Society

*is heading into its 28th year
of connecting Kaslo and Area with the world!*

2024 AGM

**Wednesday, May 15th
7:00 pm
At The Langham**

**All Customers are invited
To become a MEMBER of this
rapidly growing enterprise...**

**If you are becoming a member
for the first time
Monday, April 15th
is the deadline
to be a voting member for the
2024 AGM**

**All existing memberships expired on February 29, 2024.
Existing members must renew by
Wednesday, May 15th
to be eligible to vote at the 2024 AGM**

**Memberships are only \$5/person
and can be billed to your account**

Just reply to this email to become/remain a member today!



FEB 28 2024

February 22, 2024

Dear Mayor Suzan Hewat and Council,

We have a wonderful update to share about the BC Farmers' Market Nutrition Coupon Program in Kaslo. This beloved program is truly making a difference in your community, along with over 100 others across BC. As you may know, this program exists through funding from the Province of British Columbia. For over a decade, BC Association of Farmers' Markets is proud to deliver the BC Farmers' Market Nutrition Coupon Program across the province.

In Kaslo

During the 2023 season **North Kootenay Lake Community Services Society - Kaslo Food Hub** provided lower-income pregnant persons, families, and seniors with coupons to purchase fresh fruits, vegetables, cheese, eggs, nuts, fish, meat, herbs, and honey directly from farmers at your local farmers' market.

These local residents redeemed **\$21,660** with local farmers at the **Kaslo Saturday Market**.

In fact, in **Kaslo** over **60** lower-income residents benefited from better access to local, fresh foods while connecting to their community.

At the same time, farmers in your community benefited from this additional income to sustain their farms. Our local food system is stronger.

Our Request To You

We encourage you to send a letter of gratitude and support to the BC Minister of Health, The Honourable Adrian Dix. Your support and feedback bolsters our goal of securing ongoing and expanded funding for the BC Farmers' Market Nutrition Coupon Program.

We look forward to working with your community again in 2024!

With gratitude,

Heather O'Hara
BCAFM Executive Director

Wylie Bystedt
Chair, BCAFAM Board of Directors

BC Association of Farmers' Markets

208 - 1089 West Broadway Vancouver, BC V6H 1E5
604-734-9797 | bcfarmersmarket.org | bcfarmersmarkettrail.com

From: CKISS <info@ckiss.ca>

Sent: Tuesday, February 27, 2024 5:15 PM

To: Karissa Stroshein <admin@kaslo.ca>

Subject: CKISS n' Tell Winter Edition 2024 ❄️ ❄️

In this edition of the CKISS newsletter: CKISS Leadership Team Updates, Calling All Farmers!: Take a quick survey to help protect our agricultural community from invasive species, Dive into a recap of the 2023 Communities Protect Freshwater Together Eco Action Project, Learn why YOU should join the CKISS Board of Directors, Donations to CKISS can now be done online and Species Profile: Black Locust

[View this email in your browser](#)



CKISS n'Tell

Winter 2024



CKISS Announces Leadership Team Updates: Familiar Faces, Fresh Roles!

We're thrilled to announce some significant staffing change! Erin Bates, our current Executive Director, will be transitioning to the role of Managing Director. In her new position, Erin will oversee Field Operations, Aquatics programs, and manage finances and administration. Joining us as the new Executive Director is Laurie Carr, who has been an integral part of our team for five years as Development Coordinator. Laurie will lead Outreach programs, manage partnerships, drive new initiatives, and spearhead strategic planning and governance.

We are incredibly proud to have two strong and dedicated women leading CKISS in these key positions. Please join us in congratulating Erin and Laurie on their new roles, and in wishing them all the best as they embark on this exciting new chapter with CKISS.

[To read the full story click here](#)

Attention Farmers

CKISS needs your input!

Your voice counts!



Inviting farmers to join the effort in protecting our agricultural community from invasive species by participating in CKISS'online survey!



WWW.CKISS.CA

Calling All Farmers!

Fill out a Quick Survey and Help Protect Our Agricultural Community from Invasive Species

Hey Farmers! Can you spare five minutes? Can you fill out a quick survey for us? Your input is crucial in shaping our outreach services, programming, and actions to address invasive species issues in our region.

By participating in this survey, you will provide valuable insights into the

challenges faced by local farmers, helping us secure funding and tailor effective solutions.

[Click here to fill out the agriculture survey](#)



Celebrating Success: Recap of the 2023 Communities Protect Freshwater Together Eco Action Project

As we prepare for another busy field season, we are thrilled to reflect on the incredible achievements and community-driven efforts of the Communities Protect Freshwater Together: Riparian Restoration in the Kootenay Region Eco Action Project. This three-year initiative, aimed at engaging and inspiring our local community to protect freshwater quality, has made significant strides in restoring critical water bodies and adjacent riparian habitats within three key sites in the Central Kootenay region of British Columbia.

From the Jubilee Wetland in Rossland to the Hunter Siding Wetland near New Denver and the Harrop Wetland, our dedicated teams have been hard at work, leaving a lasting mark on these crucial ecosystems. We are excited to share the successes and milestones of year two with you.

To learn more about this project and its impact, click the button below to read the full article.

[Click here to read the full recap of the EcoAction Project](#)

Volunteer Opportunities in 2024: Stay Tuned!

As we reflect on the accomplishments of the past year, we're already looking ahead. Stay tuned for exciting volunteer opportunities in 2024, where you can actively contribute to the ongoing success of the project.

This project was undertaken with the financial support of:
Ce projet a été réalisé avec l'appui financier de :



Environment and
Climate Change Canada

Environnement et
Changement climatique Canada



Join the CKISS

Board of Directors

Why?

- *Shape the Future*
- *Networking Opportunities*
- *Professional Development*
- *Community Engagement*
- *Fulfillment and Purpose*

Learn More
www.ckiss.ca



Join the CKISS Board of Directors and Make a Difference in Environmental Conservation!

Do you want to contribute your skills to a non-profit organization dedicated to environmental conservation? Are you passionate about preventing the spread of invasive species? Consider joining the CKISS Board of Directors! Overall, serving on the CKISS Board of Directors offers a rewarding opportunity to contribute to environmental conservation efforts, make a positive impact on local communities, and engage in meaningful work alongside dedicated individuals who share a common goal.

How do you join the CKISS Board?

1. The first step is to become a member. [Click here to fill out the membership form.](#)
2. Already a member? Simply send us an email at lcarr@ckiss.ca expressing your interest in joining the board.

[Click here to learn 7 reasons to join the CKISS Board of Directors](#)

GIVE TODAY

FOR A GREENER TOMMOROW

Visit our website today
to make a donation
and join us in the fight
against invasive
species!

Thank you for your
support!

[CKISS.CA/ACTION/DONATE/](https://www.ckiss.ca/action/donate/)



Support Our Mission: Donate Today to Help Stop the Spread of Invasive Species

We're thrilled to announce that donating to CKISS is now easier than ever through our website! Your generous donations play a crucial role in helping us achieve our mission of stopping the spread of invasive species in our region.

By donating to CKISS, you're investing in the resilience and well-being of our local communities. Your support empowers us to engage with residents, landowners, and volunteers to build capacity, raise awareness, and implement practical solutions for invasive species management at the grassroots level.

Your donation, no matter the size, makes a meaningful difference in our efforts to safeguard our environment from the harmful impacts of invasive species. Together, we can protect our natural landscapes, biodiversity, and way of life for generations to come.

Visit our website today to make a donation and join us in the fight against invasive species! Thank you for your support.

[Click here to Donate](#)

SPECIES PROFILE:

Black Locus (*Robinia pseudoacacia*)



Description:

- Fast-growing, medium-sized deciduous tree in the pea family.
- Heights of up to 30m, commonly found between 10–20m.
- Compound leaves with 7–19 leaflets, bluish-green in color.
- Showy, fragrant white flowers with yellow centers in loose drooping clumps.
- Pea-like pods containing 4–8 seeds.

- Young trees often spiny; mature trees have deeply furrowed reddish–black and gray bark.

Introduction and Spread:

- Native to Southern–Eastern United States, now naturalized across North America, Europe, Asia, and Oceania.
- Cultivated for horticulture, forestry, and reclamation/restoration.
- Spreads through seeds and vegetative root suckers.

Consequences of Invasion:

- Rapid spread through root suckers and rapid annual growth can crowd out native vegetation.
- Shade intolerant, forms dense stands, shading out lower growing plants and young saplings.
- Adds nitrogen to soil, altering soil chemistry and composition.

Status in the CKISS Region:

- Classified as "Insufficient Information" on CKISS Annual Priority list, however there are several known infestations in the CKISS region.

How to control:

- *Prevention:* Become PlantWise and learn about Grow Me Instead for alternative plants.
- *Mechanical Control:* Cut trees and saplings, monitor for regrowth.
- *Chemical Control:* Herbicide application to cut stems in coordination with mechanical control.

- *Cultural Control:* Grazing livestock can be used in coordination with mechanical control.

For more details on the Black Locust invasive species, including its impact and control measures, [click here to read the full profile on our website.](#)



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Our mailing address is:

Suite 19-622 Front St, Nelson BC, V1L 4B7

1-844-352-1160

info@ckiss.ca

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Central Kootenay Invasive Species Society · Suite 19, 622 Front Street · Nelson, British Columbia V1L 4B7 · Canada



CHAMBER NEWS

The official newsletter of The Kaslo & Area Chamber of Commerce



Save the Date: Annual General Meeting on March 19th - 6 pm

As we gear up for another exciting year, it's time for our Annual General Meeting (AGM).

- **Date:** Tuesday, March 19th, 2024
- **Time:** 6:00 PM
- **Location:** Upstairs in the Kaslo Arena Boardroom or attend virtually via [Zoom](#)

This is your chance to get the inside scoop on what's been happening, what's in the pipeline for the Kaslo business community, and participate in the election of board members. Your input and engagement are crucial, so mark your calendars and plan to join us!

We are thrilled to announce that Jessie Lay from FireSmart will be joining us to share valuable insights and information. As we all know, the safety and well-being of our community are paramount. Jessie's presentation promises to be informative and relevant, providing us with essential knowledge on how we can collectively contribute to creating a safer environment for all.

Your participation matters, and we encourage everyone to bring their thoughts, ideas, and questions. Together, we can make a positive impact on the future of our local business community.

See you on March 19th at 6:00 PM!

IN THIS ISSUE

**KASLO & AREA D
BUDGET INFORMATION
SESSION TONIGHT**

**NEW PACIFIC BLUE
CROSS TRAVEL
INSURANCE PROGRAM**

**MEMBERSHIP REWEVAL
REMINDER**

**ETSI-BC SPRING INTAKE
OPENS MARCH 11**

**MAY DAYS 2024
VENDOR APPLICATIONS**

RDCK Budget Information Session



The RDCK invites the public to join them for a breakdown of the financial landscape and to understand what goes into the development of the 2024-2028 RDCK Financial Plan. Kaslo's meeting is Monday, February 26th, 6:00 pm to 7:30 pm at the Kaslo Village Chambers, 413 4th Street or you can participate [online](#).

This is your opportunity to connect with RDCK Directors and staff, ask questions, learn about the RDCK, and find out about projects and initiatives happening in the area.

Click [here](#) for a copy of the draft financial plan.

New Pacific Blue Cross Travel Insurance Program

The BC Chamber of Commerce is delighted to establish a long-term partnership with Pacific Blue Cross, a trusted provider of emergency medical and trip protection insurance coverage around the world, to provide comprehensive, competitively priced travel insurance for employers, their employees and immediate family members.

Benefit for EMPLOYERS:

- Boost the benefits package you offer to potential and existing employees, and help you attract and retain the star performers you need.
- Complement any existing benefit plan coverage and provide extra protection where needed.
- Provide an exclusive discount that will allow you to save money on travel insurance needs.

Looking for more information? [View the Employer Flyer here](#).

Benefit for EMPLOYEES:

- The most coverage on health conditions, so that you and your immediate family members can relax and enjoy your vacation time.
- Trip protection options for cancellations, interruptions, delays or baggage issues.
- An exclusive discount that will allow you to save money on travel insurance needs.

Looking for more information? [View the Employee Flyer here](#).

Curious? Click [here](#) to get your exclusive discount code and to learn more. Healthy travels!



Membership Renewal Reminder



Working towards another exciting year of community collaboration, we want to express our gratitude for your ongoing support as members of the Kaslo Chamber of Commerce. Your commitment has been crucial in nurturing a vibrant local business environment.

If you've already renewed your membership for 2024, a heartfelt thank you! Your commitment is truly appreciated, and it fuels our collective efforts to make the Kaslo business community even more dynamic.

For those yet to renew, this is a friendly reminder to ensure you don't miss out on the exclusive benefits, networking opportunities, and support that come with being part of the Kaslo Chamber family. Renewing is quick and easy—just email thekaslochamber@gmail.com for an invoice, or send your renewal fee of \$100 (for businesses) or \$65 (for non-profits) to accounts@kaslochamber.com using the password membership, we'll take care of the rest!

Your continued involvement is not only a boon to your business but also contributes significantly to the prosperity of our entire community. The strength of the Kaslo Chamber lies in the active participation of its members, and we value your role immensely.

If you've already renewed, we extend our sincere appreciation. If not, we encourage you to renew today and stay connected to the vibrant Kaslo business community.

For any questions or assistance with the renewal process, feel free to reach out to us at [your contact information]. We're here to make the process as seamless as possible.

Thank you for being an integral part of the Kaslo Chamber family. Here's to another year of collaboration, success, and community growth!



#PicturePerfectKaslo

[@StellarHeli](#) with a great photo of Front Street on a stunning spring afternoon

ETSI-BC Spring Funding Intake Opens March 11

ETSI-BC will be accepting applications for their Spring Funding Intake from March 11 to April 12, 2024. They hope to have a higher than ever allocation for the Spring 2024 Intake so they can support more innovative projects than ever before!

This Funding Intake is focused on Building Economic Development Capacity and Innovating and Advancing Key Sectors funding streams. Both of these have had changes to reflect the new Strategic Plan, so make sure you read the updated Application Guides and speak to a friendly Project Consultant before applying.

Applications will be accepted on the Grant Application Portal starting March 11, 2024 and will be accepted up until 4 pm PST on April 12, 2024.



May Days 2024 Craft Vendor Applications

Join us in making May Days 2024 a celebration to remember! If you know of a great vendor that should be included in our Market at Vimy Park running Saturday through Monday, May 18th to 20th be sure to encourage them to sign up on our website. There has been a ton of interest this year so don't wait as we'll be filled up quickly. We have saved a few spots for our non-profit organizations, please reach out if you are interested in a free one day site.



Media Release

March 1, 2024
For immediate release

Check your Voyent Alert! settings for RDCK water system notifications

Nelson, BC: The Regional District of Central Kootenay (RDCK) is asking customers that reside within RDCK owned and operated water systems to check their location settings for the Voyent Alert! notification system. Recently, some RDCK customers reported they did not receive Voyent Alert! notifications for their water system although they are signed up for alerts. The RDCK requests all water system users to sign-up for Voyent Alert! notifications as this is the primary method of communication for all RDCK water system information as well as RDCK Emergency Notifications.

Customers are asked to confirm the “My Location” setting within the Voyent Alert! app is set within the appropriate water system. If customers do not have the app, they can login to their Voyent Alert! account (<https://ca.voyent-alert.com/vras/client.html#!/login>) and manage the location setting. If the location setting is not within the RDCK water system servicing you, you will not receive a notification. Communication on upcoming projects that impact customers will be done through Voyent Alert!, in addition to all water quality and system information.

Not signed up for Voyent Alert!? Sign up for free at <https://register.voyent-alert.com> to receive notifications about your water system’s water quality, system maintenance activities, and water conservation by telephone call, email, and/or text message.

Incorporated in 1965, the Regional District of Central Kootenay (RDCK) is a local government that serves 60,000 residents in 11 electoral areas and nine member municipalities. The RDCK provides more than 160 services, including community facilities, fire protection and emergency services, grants, planning and land use, regional parks, resource recovery and handling, transit, water services and much more. For more information about the RDCK, visit www.rdck.ca.

-30-

For further information, please contact:

Jason McDiarmid
Utility Services Manager
Regional District of Central Kootenay
Tel: 250.352.8169
Email: jmcdiarmid@rdck.bc.ca

For media enquiries:

Dan Elliott
Communications Coordinator
Regional District of Central Kootenay
Tel: 250.354.3476
Email: delliott@rdck.bc.ca



Climate Leadership Symposium: Public Sector and Local Government Action
 Thompson Rivers University, Kamloops, B.C.
 October 18-19, 2023

Wednesday, October 18, 2023

Day 1	
7:30am	Sign-in and Networking Breakfast <u>Rotunda</u>
8:30am	Welcomes <u>Grand Hall</u> <ul style="list-style-type: none"> • Territorial Welcome Elder Leona (Doe) Thomas, Tk'emlúps te Secwépemc • Opening Remarks Minister George Heyman, Ministry of Environment and Climate Change Strategy • Welcomes and Context Setting Dr. Brett Fairbairn, President, Thompson Rivers University Reid Hamer-Jackson, Mayor, City of Kamloops Elaine Cross, Executive Director, Climate Action Secretariat
9:30am	Plenary Roundtable Icebreaker <u>Grand Hall</u> <ul style="list-style-type: none"> • Successes & challenges in your region
10:00 am	Refreshment Break <u>Rotunda</u>
10:15am	Plenary Wildfire & Flood Resilience Panel <u>Grand Hall</u> <ul style="list-style-type: none"> • Glen Cheetham, City of Kamloops (moderator) • Greg Wightman, City of Kamloops • Jill Harvey, Thompson Rivers University • Mike Simpson, Fraser Basin Council • Tara Bergeson, Kelowna • Trevor Bohay, Ministry of Forests
11:00am	Plenary Resilience and Adaptation Presentations <u>Grand Hall</u> <ul style="list-style-type: none"> • New Emergency Management Legislation and Regulations for Risk Assessments Dave Aharonian, Climate Action Secretariat • Provincial Disaster and Climate Risk and Resilience Assessment Amanda Broad, Emergency Management and Climate Readiness • Building 2 Resilience and Resilience Checklist Wilma Leung, BC Housing
11:45am	Breakout Sessions Resilience and Adaptation <ul style="list-style-type: none"> • Risk Assessment 101 <u>Mountain Room</u> Dave Aharonian, Climate Action Secretariat • Climate Ready BC and the Disaster and Climate Risk and Resilience Assessment <u>Terrace Room</u> Amanda Broad, Emergency Management and Climate Readiness • Resilient Buildings (R2B) Project <u>Grand Hall</u> Wilma Leung, BC Housing • Resources for Building Public Sector Organizations' Climate Resilience <u>Alpine Room</u> Dana Cook, Climate Action Secretariat



12:30 pm	Networking Lunch Rotunda
1:15pm	Plenary Greening Transportation - Presentations <u>Grand Hall</u> <ul style="list-style-type: none"> • <i>Driving Change: Capital Regional District's Low-Carbon Mobility Initiatives</i> Nikki Elliott, Capital Regional District • <i>Planning Together BC</i> Cheryl Fraser, Ministry of Transportation and Infrastructure • <i>Transportation-Oriented Development</i> Cheryl Fraser, Ministry of Transportation and Infrastructure • <i>Active Transportation</i> Nini Nytepchuk, Ministry of Transportation and Infrastructure
2:00pm	Plenary Buildings & Infrastructure - Presentations <u>Grand Hall</u> <ul style="list-style-type: none"> • <i>Integrated Demand-side Management for Conservation and Energy Management</i> Hansi Liu-Atkinson, BC Hydro • <i>Pathway to Net-zero Carbon in Buildings (Embodied Carbon)</i> Megan Badri, University of British Columbia • <i>Zero Carbon Step Code</i> Matt Horne, City of Vancouver
2:45 pm	Refreshment Break Rotunda
3:00pm	Breakout Sessions Greening transportation / Buildings & Infrastructure <ul style="list-style-type: none"> • <i>Interior Health's Electric Vehicle Transition Plan <u>Alpine Room</u></i> Kirby MacIver, Interior Health • <i>Integrated Demand-side Management for Conservation and Energy Management <u>Terrace Room</u></i> Hansi Liu-Atkinson, BC Hydro • <i>Pathway to Net-zero Carbon in Buildings <u>Mountain Room</u></i> Megan Badri, University of British Columbia Mohini Singh, University of British Columbia • <i>Zero Carbon Step Code <u>Grand Hall</u></i> Matt Horne, City of Vancouver
3:45pm	Closing <u>Grand Hall</u> <ul style="list-style-type: none"> • Elaine Cross, Executive Director, Climate Action Secretariat • Ken Porter, Manager Communities, Climate Action Secretariat
4:00pm	Tours and Networking <ul style="list-style-type: none"> • <i>Canada Games Aquatic Centre Energy Efficiency Upgrades</i> • <i>Thompson Rivers University Sustainability Features</i> • <i>Climate Connections Trail</i> <p>Those who didn't sign up for a tour are welcome to remain in the Rotunda for networking. All attendees will leave Thompson Rivers University campus by 5:30pm.</p>
5:30 pm	Evening Break
7:30pm	Evening Networking and Refreshments <u>Kamloops Museum and Archives</u>



Climate Leadership Symposium: Public Sector and Local Government Action
 Thompson Rivers University, Kamloops, B.C.
 October 18-19, 2023

Thursday, October 19, 2023

Day 2			
7:30am	Networking Breakfast Grand Hall		
8:15am	Welcome to Day 2 Grand Hall Elaine Cross, Executive Director, Climate Action Secretariat James Gordon, Manager of Sustainability Programs, Thompson Rivers University Glen Cheetham, Climate and Sustainability Manager, City of Kamloops		
8:30am	Plenary: From Gas to Electricity – TRU’s Low Carbon District Energy Solution Grand Hall Matt Milovick, Thompson Rivers University Samson Tan, Creative Energy		
9:15 am	Local Governments and Public Sector Organizations split for program-focused engagement		
Local Governments		Public Sector Organizations	
9:30am	Presentations: Spotlight on Local Leadership Mountain Room <ul style="list-style-type: none"> Green Buildings Framework and Policy Wasel Rahman, City of Abbotsford Pre-treated Organics Program Cecilia Jaques, Nelson Low Carbon Resilience Freya Phillips, Kootenay Boundary Regional District BC Hydro Support for Local Government Climate Action in the Community Robyn Webb, BC Hydro Youth Climate Corps BC Partnership to Develop and Deliver the Climate Friendly Homes Program Glen Cheetham, City of Kamloops 	9:30am	Carbon Neutral Government Program Updates Grand Hall Natasha Staffeldt-Jost, Climate Action Secretariat
10:15am	Breakout Discussions: Knowledge Sharing <ul style="list-style-type: none"> Organics Alpine Room Cecilia Jaques, Nelson Buildings and Hydro Terrace Room Wasel Rahman, City of Abbotsford Robyn Webb, BC Hydro Resilience and Youth Mountain Room Freya Phillips, Kootenay Boundary Regional District Glen Cheetham, City of Kamloops 	10:15am	Environmental Social Governance Framework for Capital Overview Grand Hall Adrian Mohareb, Climate Action Secretariat
11:00am	Environmental Social Governance Mountain Room Allison Ashcroft, Municipal Finance Authority	10:45am	Policy Overview Grand Hall <ul style="list-style-type: none"> Fleet Decarbonization



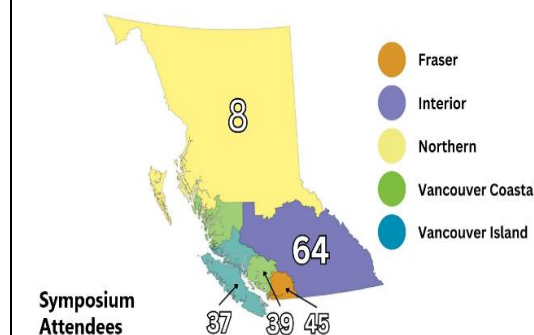
			<p>Natasha Staffeldt-Jost, Climate Action Secretariat</p> <ul style="list-style-type: none"> • Public Sector Existing Building Strategy Chris Koski, Climate Action Secretariat
11:30 am	Networking Lunch		
Local Governments		Public Sector Organizations	
12:15pm	<p>Double Down Outcomes NOT Efforts: The Role of Networks in Meaningful Collaboration <u>Mountain Room</u> Megan Lohmann, Community Energy Association</p>	12:15pm	<p>Breakout Discussions: Policy Consultation</p> <ul style="list-style-type: none"> • Fleet Decarbonization <u>Grand Hall</u> Natasha Staffeldt-Jost, Climate Action Secretariat • Public Sector Existing Building Strategy <u>Grand Hall</u> Chris Koski, Climate Action Secretariat
1:00pm	<p>Data Session Presentation Corporate Emissions, Contracted Services and Community-wide Emissions Reporting <u>Mountain Room</u> Elizabeth Lytviak, Climate Action Secretariat</p> <p>Data Session Breakouts</p> <ul style="list-style-type: none"> • Proposed Corporate Inventory Reporting Program Changes <u>Mountain Room</u> Elizabeth Lytviak, Climate Action Secretariat • Traditional Services Mapping <u>Alpine Room</u> Ken Porter, Climate Action Secretariat • Corporate Emissions and Contracted Services Reporting – Roundtable on Data Collection <u>Terrace Room</u> Yogi Bhalla, Village of Ashcroft Luisa Burhenne, Resort Municipality of Whistler Steve Young, City of Victoria 		
2:00pm	<p>Year 2 Overview and Looking Ahead to Year 3 LGCAP <u>Mountain Room</u> Anna Cottier, Climate Action Secretariat Dave Aharonian, Climate Action Secretariat Ken Porter, Climate Action Secretariat Elizabeth Lytviak, Climate Action Secretariat</p>		
2:45pm	<p>Closing <u>Grand Hall</u> Elaine Cross, Executive Director, Climate Action Secretariat Ken Porter, Manager Communities, Climate Action Secretariat</p>		


Climate Leadership Symposium: Public Sector and Local Government Action: Key Takeaways from Q&A Sessions



On October 18 and 19, 2023, the B.C Government's Climate Action Secretariat (CAS), in partnership with the City of Kamloops and Thompson Rivers University, and with sponsorship support from the Municipal Finance Authority, hosted around 200 public sector, local government, and provincial staff from around British Columbia at the Climate Leadership Symposium. The goal of the symposium was to foster collaboration between Public Sector Organizations (PSOs) and Local Governments (LGs) across the province. The map to the right shows the distribution of where the symposium's attendees are based.


Here you'll find key takeaways and provincial commitments from the Symposium's sessions and a high-level summary of the ideas and experiences on how to factor climate considerations in government decision making processes.


The paper size is Tabloid (11x17).





Presentations and Engagement Sessions	Key Takeaways from Q&A Sessions	More Information
RESILIENCE		
 <p>Wildfire & Flood Resilience Panel</p>	<ul style="list-style-type: none"> A significant number of forest fires in British Columbia (42%) are started by humans. British Columbia needs to find a balance in forest canopy preservation for cooling and for ecosystem goods and services, in conjunction with fire suppression approaches to remove forest canopy and debris. Collaboration between all groups involved in forest fire management coupled with enhanced wildfire education to rural and urban communities is key to enhancing our capacity to respond to these types of disasters. 	
<p>Resilience and Adaptation Presentations</p> <ul style="list-style-type: none"> New Emergency Management Legislation and Regulations for Risk Assessments Provincial Disaster and Climate Risk and Resilience Assessment Building 2 Resilience and Resilience Checklist 	<ul style="list-style-type: none"> The Union of BC Municipalities and the LGCAP will continue to provide funding for LGs to complete risk assessments. If risk assessment funding comes from the Province, information will be publicly available on the ClimateReadyBC website. PSOs and LGs currently conducting risk assessments should continue them. There are no guides currently in place; these will be made available in the future. Some tools are available, such as the Hazard, Risk and Vulnerability Assessment. The Climate Resilience Framework and Standards (CFRS) for Public Sector Buildings was a requirement as of summer 2022. 	<ul style="list-style-type: none"> ClimateReadyBC Hazard, risk and vulnerability analysis document library B.C.'s Modernized Emergency Management Legislation BC's Modernized Emergency Management Legislation: Regulations for Local Authorities
<p>Resilience and Adaptation Breakout Session: Risk Assessment 101</p>	<ul style="list-style-type: none"> Regulations requiring risk assessments are coming, but the timeline has not been determined. LGs need guidance materials for conducting risk assessments, including templates and standardized approach. The materials need to differentiate between how to do an assessment for a region vs a specific building or project. There are concerns from LGs that once hazards/impacts are identified, there may be implications for insurance, for liability, and that if a risk is known, there may not be adequate capacity to address it. There is no list of experts right now, but the Province is developing one as a resource. 	
<p>Resilience and Adaptation Breakout Session: <i>Climate Ready BC and the Disaster and Climate Risk and Resilience Assessment</i></p>	<ul style="list-style-type: none"> LGs and PSOs request guidance, access to experts and support on integrating climate action and resilience, bringing community stakeholders together, using the values-based approach and integrating compounding impacts into risk assessments. LGs and PSOs can use ClimateReadyBC as a resource. They can submit resources and examples for others to use. 	<ul style="list-style-type: none"> ClimateReadyBC

Presentations and Engagement Sessions	Key Takeaways from Q&A Sessions	More Information
RESILIENCE		
 <p>Resilience and Adaptation Breakout Session: Resilient Buildings (R2B) Project</p>	<ul style="list-style-type: none"> LGs face barriers to becoming more resilient in four major areas: technical capacity, political and regulatory, economic and financial, and social and information. When meeting goals, it is very important to consider climate justice, equity, indigenous perspectives, and innovation. 	
<p>Resilience and Adaptation Breakout Session: Resources for Building Public Sector Organizations' Climate Resilience</p>	<ul style="list-style-type: none"> The Annual Facilities Grant (AFG) can be used by school districts for resilience, but doing so takes away from other priority projects (e.g., roof replacement and repair); resilience projects are often at/towards the bottom of the list. It is easier to enhance the resilience of new projects by following the Environmental, Social and Governance Framework for Capital (ESGFC). There are ample written resources on climate resilience, but they are scattered and may not provide adequate guidance or clarity. A centralized location for resources, as well as more case studies, would be helpful. Networks enable organizations to learn from each other on enhancing their climate resilience. Enhancing resilience in existing buildings will require more funds. Support should be easy to access and organizations should be able to fund projects over longer time frames. More internal capacity on climate resilience is also needed. 	<ul style="list-style-type: none"> Pacific Climate Impacts Consortium BC Housing's Research Library Mobilizing Building Adaptation and Resilience Climate Action Secretariat's Managing Climate Risk for Public Sector Organizations Climate Data for a Resilient Canada GreenCare
GREENING TRANSPORTATION		
 <p>Greening Transportation Presentations</p> <ul style="list-style-type: none"> Driving Change: Capital Regional District's Low-Carbon Mobility Initiatives Planning Together BC Transportation-Oriented Development Active Transportation 	<ul style="list-style-type: none"> There is a large need for active transportation (AT) funding to help close the gap on AT infrastructure. Currently, there is \$60M in budget for 2022-2025 in AT funding, plus Budget 2023 included \$85M over three years for AT infrastructure in provincial rights-of-way. Organizations can lead by shifting transportation choices away from fossil fuel vehicles and towards other fleet options, e.g., electric bicycles, EVs, through planning and life-cycle costing. When there are gaps in local charging networks and the private sector has not stepped in, there is a role for LGs to ensure spatial distribution of charging infrastructure. The Province is working with communities on rural regional and inter-city transit development policies, and creating more liveable, accessible and ecological urban spaces in transit-oriented communities through Planning Together BC. There was substantial interest in the very popular and quickly fully subscribed e-bike rebate program, with interest in understanding if that program will come back and who accessed the incentives. 	
<p>Greening Transportation Breakout Session: Interior Health's Electric Vehicle Transition Plan</p>	<ul style="list-style-type: none"> Public electric charging is needed in the community (provided by LGs) since many will have challenges accessing EV charging at home. Interior Health (IH) has not yet established EV chargers for visitors. Communities that IH serves are being prioritized for fleet electrification by the age of the vehicle, the size of the community, and the distances vehicles are driven, with the expectation that 60 EVs (27% of their light and medium duty fleet) will be EVs. IH doesn't have a lot of heavy-duty vehicles. They have received rebates for Level 2 chargers but have no level 3 chargers. 	

Presentations and Engagement Sessions	Key Takeaways from Q&A Sessions	More Information
BUILDINGS AND INFRASTRUCTURE		
 <p>Buildings and Infrastructure Presentations</p> <ul style="list-style-type: none"> Integrated Demand-side Management for Conservation and Energy Management Pathway to Net-zero Embodied Carbon in Buildings Zero Carbon Step Code 	<ul style="list-style-type: none"> BC Hydro is confident it will be able to meet the electricity demand for an accelerated electrification scenario, as one of the planned-for scenarios in their Integrated Resource Plan for the next 20 years. BC Hydro is developing v2.0 of its electrification plan for 2026. The City of Vancouver has both Zero Carbon Step Code for operational emissions, and embodied carbon targets. Council has approved first limits on embodied carbon. There are some challenging trade-offs that hopefully become less so as better materials address trade-offs. Emissions and energy targets for buildings are separated by height, to reflect wood vs. steel and concrete framed buildings. UBC has developed its own guidelines for calculating embodied carbon and conducting lifecycle assessments. The buildings sector would account for more of the university's GHG profile with embodied emissions accounted. 	<ul style="list-style-type: none"> BC Hydro Integrated Resource Plan UBC's Climate Action Plan 2030 – Embodied Carbon BC Energy Step Code Website
<p>From Gas to Electricity – TRU's Low Carbon District Energy Solution</p>	<ul style="list-style-type: none"> TRU is electrifying heating on campus by installing an electrified two-stage air source heat pump district energy system (DES) that will begin operating in 2024. All new construction on campus must connect to this DES, regardless of ownership. The DES performs very well economically compared to building-by-building electrification. Using an iterative approach to installing/retrofitting, the DES and its heating equipment will enable the system to meet requirements as climate changes. The system may provide cooling in the future but incorporating cooling now/early would burden users with higher rates. 	<p>TRU Low Carbon District Energy System</p>
<p>Buildings and Infrastructure Breakout Session</p> <ul style="list-style-type: none"> Integrated Demand-side Management for Conservation and Energy Management 	<ul style="list-style-type: none"> Where increasing electricity demand requires grid capacity improvements, organizations will need support to install electrical infrastructure quickly. Without support, many organizations will stay with natural gas for space and water heating. Grid capacity improvements need to be coordinated with urban development or other large capital projects. Locations where electricity supply is less consistent will require backups when the electricity fails. DSM programs need to become more broad, to enable enhanced resilience and lower power demands. 	
<p>Buildings and Infrastructure Breakout Session</p> <ul style="list-style-type: none"> Pathway to Net-zero Embodied Carbon in Buildings 	<ul style="list-style-type: none"> Embodied carbon awareness is low, because it has been outside of the scope of organizations and their inventories to date. Organizations still need to learn what low-embodied carbon construction looks like, as well as the tools available and how to use them to drive down embodied carbon. Industry is also climbing the learning curve on embodied carbon, and governments need to provide education, and then governments can begin requiring embodied carbon reporting before setting targets (as Vancouver has done). Sustainable purchasing criteria is needed, with required disclosure of the carbon content of materials. Distributors should be responsible for carbon labelling compliance; they can get manufacturers to label or not have access to their clients. 	
<p>Buildings and Infrastructure Breakout Session</p> <p>Zero Carbon Step Code</p>	<ul style="list-style-type: none"> The Zero Carbon Step Code will be the BC Building Code's minimum requirement by 2030. BC Hydro commits to meeting capacity needs and facilitating renewable power. They are researching and undertaking pilots on backup power. Councils are generally supportive of the move to increase energy and carbon performance in buildings. Developments in electrical heating in cold climates will help meet the technical challenges in colder climate locations. 	<p>BC Energy Step Code Website</p>

Presentations and Engagement Sessions	Key Takeaways from Q&A Sessions	More Information
PUBLIC SECTOR ORGANIZATION PROGRAMS		
<p>Carbon Neutral Government Program Updates</p>	<ul style="list-style-type: none"> • There are no planned changes to the cost of offsets or substantive mandatory changes to the scope of emission reporting. • PSOs ask for clarity on RNG as part of their approach to reduce emissions. • CAS will consult on any possible changes to scope or RNG with PSOs. • Crowns are not eligible for the Carbon Neutral Capital Program because of how they are governed under the <i>Budget Transparency and Accountability Act</i>. 	
<p>Environmental Social Governance Framework for Capital Overview</p>	<ul style="list-style-type: none"> • ESGFC documents are not public at this time; PSOs must go to their capital ministry contact for details. • The CAS team is assessing how the Climate Readiness tool and the PSCL survey will work together. • PSOs may undertake the climate risk exposure screen (step 2 of the Climate Resilience Framework) and will hire a qualified professional to perform the full climate risk assessment (step 3). 	<p>For information on capital ministry contact, please email climaterisk@gov.bc.ca or carbon.neutral@gov.bc.ca.</p>
<p>Policy Overview</p> <ul style="list-style-type: none"> • Fleet Decarbonization • Public Sector Existing Building Strategy 	<ul style="list-style-type: none"> • The CleanBC appendix to the ESGFC can help provide a roadmap for existing buildings, but there will need to be some elements and approaches that are different. • A future iteration of the Climate Resilience Framework and Standards (CRFS) will address existing buildings. This will need to be different, as the risks existing buildings may face are different, and addressing those risks may be more challenging. • Resilience measures should not be expected to increase carbon emissions. For example, where existing gas heating systems have no cooling, organizations can electrify heating and add cooling, addressing climate risks while reducing emissions. • PSOs are interested in retrofitting buildings instead of reconstructing them where feasible, as they learn about embodied carbon in existing buildings. 	
 <p>Breakout Discussions: Policy Consultation</p> <ul style="list-style-type: none"> • Fleet Decarbonization • Public Sector Existing Building Strategy 	<p>Fleet Decarbonization:</p> <ul style="list-style-type: none"> • The majority of PSO representatives supported a Clean Fleet Plan mandate to assist with transitioning their fleet to zero-emission vehicles (ZEVs) while creating accountability to help achieve CleanBC commitments. • PSO representatives also supported a ZEV-first purchasing policy, with many expressing it as a critical approach for ZEV acquisition. Alternative liquid and gaseous fuels were suggested for reducing fleet emissions while more ZEV options become available, especially for medium- and heavy-duty vehicles. • Guidance and templates that clarify complex processes for transitioning their fleet, including considerations for electric vehicle charging station (EVCS) installation, would be helpful. • Several PSO representatives expressed a desire for pre-approved ZEV vendor and EVCS purchasing lists to support ZEV acquisition. Limited ZEV supply and PSO resources present a challenge, and this strategy could help leverage the public sector's purchasing power. <p>Public Sector Existing Building Strategy:</p> <ul style="list-style-type: none"> • Most PSO portfolio planning focuses on immediate needs. Sustainability staff want a longer-term view and sustained leadership to get ahead of planned renewals and make continued progress. • PSO representatives are uncertain about what an EV readiness standard for buildings could look like in practice, given how PSO buildings serve different users for a wide range of functions. • Heat pumps continue to be a massive opportunity but are challenging for large buildings to implement successfully, partly due to limited access to large-building expertise. Electrical capacity remains a challenge in some locations. • Accounting for commuting and embodied carbon would have significant impact on planning decisions. • Building specific risk assessments are more feasible for new buildings than large existing portfolios – prioritization is critical. • The heat dome demonstrated that extreme heat poses a risk to much of the province. • PSOs need more education and resources to support implementing the CRFS for new buildings. 	

Presentations and Engagement Sessions	Key Takeaways from Q&A Sessions	More Information
LOCAL GOVERNMENT CLIMATE ACTION PROGRAM		
Local Leadership Knowledge Sharing Breakout Session: <ul style="list-style-type: none"> Organics 	<ul style="list-style-type: none"> Nelson has in place a successful pre-treated organics program, Canada’s first residential pre-treated organics initiative. Participating residents have access to an in-home appliance specifically designed for mashing and dehydrating food waste which creates an odourless and dry soil amendment. A survey in Nelson determined backyard composting was commonplace, but 80% of the time it was being done incorrectly. This program helps support more effective organics utilization. 	<ul style="list-style-type: none"> City of Nelson Organic Waste Diversion
Local Leadership Knowledge Sharing Breakout Session: <ul style="list-style-type: none"> <i>Buildings and Hydro</i> 	<p>Buildings</p> <ul style="list-style-type: none"> Guidance is needed on what defines a building renovation. Step Code won’t apply to many simple building renovations. <p>Hydro</p> <ul style="list-style-type: none"> In response to 95% of calls for mechanical assistance for EV chargers, BC Hydro launches action in 24 hours. BCAA is getting in on EV rescue as well. BC Hydro has a mandate to add 3,000 more chargers in the next seven years, including level 2 and faster. 	<ul style="list-style-type: none"> Energy Step Code BCHydro eNewsletter Subscription
 Local Leadership Knowledge Sharing Breakout Session: <i>Resilience and Youth</i>	<p>Resilience</p> <ul style="list-style-type: none"> Engaging in rural areas can be very challenging as there are limited options for the types of climate actions that can be taken. Many actions are not practical or viable in these areas. Focusing on resilience in rural areas may gain more traction/interest as it is viewed as more relevant. <p>Youth</p> <ul style="list-style-type: none"> Youth Climate Corps (YCC) partners with LGs to fund youth participation in climate work for a living wage. Youth are key stakeholders in our communities and this work benefits the community and climate leadership. YCC has a great program for education and outreach, but funding is a challenge. City of Kamloops has earmarked some LGCAP funding for this program. YCC hopes to become less reliant on LGs and other community groups for funding. 	<ul style="list-style-type: none"> Youth Climate Corps British Columbia
Environmental Social Governance	<ul style="list-style-type: none"> Going forward, Environmental Social Governance emphasis will be on risk reporting: disclosing the impact to an organization’s financial position, performance and prospects from climate and other sustainability risks. The Municipal Finance Authority is collaborating with various ministries and LGs to support local climate resilience and achievement of GHG reduction targets. They assess who’s doing what and what gaps exist in data, tools, and guidance. The goal is to increase the competency, capacity and capabilities of LGs in BC to respond to the new emergency management legislation, and to measure and manage climate risk. 	<ul style="list-style-type: none"> Municipal Finance Authority of BC
Double Down Outcomes NOT Efforts: The Role of Networks in Meaningful Collaboration	<ul style="list-style-type: none"> The Community Energy Association’s (CEA) climate tracker dashboard will connect communities working on the same projects. The CEA’s hubs and networks are a safe space for LG staff to collaborate for faster problem-solving to accelerate climate action. 	<ul style="list-style-type: none"> Community Energy Association Peer Networks Sign up for peer networks: peernetworks@communityenergy.bc.ca
Data Breakout Session: <i>Proposed Corporate Inventory Reporting Program Changes</i>	<ul style="list-style-type: none"> LGCAP funds can be used to complete corporate inventory reporting and build out internal information management systems to streamline data collection and management. LGCAP is to be accessible and flexible, not to create barriers to participation nor for all funding to go to corporate reporting. Attendees suggested a working group to support LGs on corporate emissions measurement and reporting. To complement the LGCAP Year 3 webinar, the Province could offer more regular sessions to walk LGs through the process of corporate reporting in more detail and ensure exchanges happen between LGs to learn from one another. 	<ul style="list-style-type: none"> Multiple corporate reporting resources can be found at: Local Government Climate Action Program

Presentations and Engagement Sessions	Key Takeaways from Q&A Sessions	More Information	
LOCAL GOVERNMENT CLIMATE ACTION PROGRAM			
	Data Breakout Session: <i>Traditional Services Mapping</i>	This session turned into a discussion with a smaller group around the Community Energy and Emissions Inventory (CEEI). <ul style="list-style-type: none"> • Data must be shared timelier and in formats easier to analyze and present. • LGs should have better metrics on the resilience and mitigation impacts of policies such as Step Code. • Energy and emissions data should continue to be centralized to better support evidence-based decisions. 	<ul style="list-style-type: none"> • Community Energy and Emissions Inventory
	Data Breakout Session: Corporate Emissions and Contracted Services Reporting – Roundtable on Data Collection	<ul style="list-style-type: none"> • LGs’ corporate inventories will become more accurate over time as previous data is corrected. • It’s best to put the onus on project managers to include fuel consumption data collection and reporting in procurement at the point of tendering. • If fleet is a large percentage of a GHG profile, LG’s can put all gasoline and diesel under heavy diesel to simplify things and ensure emissions are not being underestimated. • Reporting templates and guidance documents can be found on the LGCAP webpage. If they have their own spreadsheets or databases, LGs can use these templates to cross-check, ensuring that emissions factors are up to date and no calculation errors occurred. 	<ul style="list-style-type: none"> • Corporate Emissions Inventory Reporting Tool • Contracted Services Emissions Calculator • Multiple corporate reporting resources can be found at: Local Government Climate Action Program
	Local Government Climate Action Program: Year 2 Overview and Looking Ahead to Year 3	<ul style="list-style-type: none"> • A large percentage of LGCAP funds were put into reserve by LGs and, though allocated towards climate action initiatives in many cases, the money must be spent sooner to reduce GHG emissions now. • Updates for Year 3 of the LGCAP include revising the webpage and resources, increasing survey user testing, improving survey clarity, and revising corporate inventory requirements by increasing the population threshold required to report to 10,000. • The Program funding is as secure as it can be for the long-term. 	<ul style="list-style-type: none"> • Local Government Climate Action Program
CLIMATE CONSIDERATIONS BACKGROUND ACTIVITY			
<p>Throughout the Symposium, PSO and LG representatives were invited to participate in the Climate Considerations Background Activity. The purpose of the activity was to encourage reflection, share ideas and experiences, and stimulate conversation among participants on how to factor climate considerations into their everyday decision-making. Here are key takeaways from the responses, reflecting participants’ insights and perspectives on how to ensure climate considerations become mainstream in government decision making:</p> <ul style="list-style-type: none"> • Embed climate considerations into all government departments and ensure interdepartmental alignment. • Make climate action an organizational priority and streamline processes to drive results. • Integrate climate into key policy documents and set requirements and metrics for incorporating climate considerations into government decisions. • Develop clear communication plans and education initiatives for government employees. • Link climate considerations to funding and integrate climate into government budgeting processes. • Empower community members to share experiences and practices, and support leaders willing to keep climate at the forefront. • Examples of impactful procurement practices include tracking scope 3 procurement emissions, supplier disclosure on GHG impact, and embodied carbon measurement. 			

Thank you again to all presenters, attendees, co-hosts, sponsors, and organizers for making this event welcoming and productive, resulting in increased connections and climate initiative inspirations. If you have any questions, please don’t hesitate to reach out – Public Sector Organizations: Carbon.Neutral@gov.bc.ca, Local Governments: LGCAP@gov.bc.ca.

PREPARED BY: Catherine Allaway, Corporate Officer

DATE: March 8, 2024

SUBJECT: Fees & Charges Amendment Bylaw 1301, 2024

PURPOSE: To correct an error in the Business Licence fees listed in Fees and Charges Bylaw 1300

RECOMMENDATION:

THAT Fees and Charges Amendment Bylaw 1301, 2024 be adopted.

ATTACHMENTS:

- Fees and Charges Amendment Bylaw 1301, 2024
- Schedule C – Business Licences, from Fees & Charges Bylaw 1300, 2023
- Schedule C – Business Licences, From Fees & Charges Bylaw 1271, as amended by Bylaw 1281.

BACKGROUND: When Fees & Charges Bylaw 1300 was adopted in 2023 there was an error in the version of Schedule C – Business Licences that was included in the bylaw. Specifically, the seasonal rate for Outdoor Markets was omitted as was the rate for a Non-Profit Organization doing business. Also, the category of “Regulated Trades & Professions” was omitted and replaced with the old categories of “Contractors and Certified Trades” and “Professional and Financial Services” that were in place prior to 2022. None of these changes were intended, and they were not reflected in the report to Council. The proposed bylaw corrects this error

The proposed bylaw does remove the fee for a Liquor or Cannabis Retail Application, as mentioned in the report to Council about Fees & Charges Bylaw 1300, 2023.

An amending bylaw to correct the errors has been prepared by staff and was presented to Council at the 2024.02.27 Regular Meeting where it received three readings. A Council resolution is required to adopt the bylaw so that it will take effect.

OPTIONS:

Recommendation is indicated in **bold**. Implications are in *italics*.

1. **Adopt the bylaw as presented. *The updated fees will take effect.***
2. Make changes to the bylaw. *Third reading must be rescinded, then then bylaw must be read a third time as amended and adoption must wait for a future meeting.*
3. Refer back to staff for further review and report.

DISCUSSION:

Adopting the bylaw will re-establish the usual licence fees for the Saturday Market. If this bylaw is adopted a consolidated version of the Fees & Charges bylaw, as amended, will be created and made available on the Village website.

CAO Approval: [Date approved by CAO]

**VILLAGE OF KASLO
BYLAW NO. 1301, 2024**

A BYLAW TO AMEND FEES AND CHARGES BYLAW NO. 1300, 2023

WHEREAS the *Community Charter* provides that Council may, by bylaw, impose a fee payable in respect to all or part of a service or product of the municipality;

NOW, THEREFORE, Council of the Village of Kaslo, in open meeting assembled, ENACTS AS FOLLOWS:

1. This Bylaw may be cited as “Fees and Charges Amendment Bylaw No. 1301, 2024”.
2. The Village of Kaslo Fees and Charges Bylaw No. 1300, 2023 is hereby amended as follows:
 - a) SCHEDULE C (Business Licences) of that bylaw is replaced by SCHEDULE A attached to this bylaw.
3. This bylaw shall take effect upon adoption.

READ A FIRST TIME this ____ day of _____, 2024.

READ A SECOND TIME this ____ day of _____, 2024.

READ A THIRD TIME this ____ day of _____, 2024.

RECONSIDERED AND ADOPTED this ____ day of _____, 2024.

MAYOR

CORPORATE OFFICER

Certified to be a true copy of “Fees and Charges Amendment Bylaw No. 1301, 2024”

CORPORATE OFFICER

FEE CATEGORY: Annual Business Licences	
Item	Fee
Licence Transfer or Change	10% of licence fee, minimum \$15
Third Party Vending Machine	\$20
Non-Profit Organization doing business	\$20
Home Based Business	\$60
Short-term Rental Accommodation	\$60 per rentable bedroom
Cannabis Related Business	\$750
Regulated Trades & Professions	\$125
All Other Businesses – Resident	\$75
All Other Businesses – Non-Resident	\$100
Inter-Community Business Licence (ICBL)	\$100

FEE CATEGORY: Temporary Business Licences	
Item	Fee
Community Event	\$15 per event
Vendors at Community Event or Trade Show	\$10 per vendor per day
Outdoor Market	\$200 per season
Mobile Vendor	\$200 per season \$25 per day

FEE CATEGORY: Annual Business Licences	
Item	Fee
Licence Transfer or Change	10% of licence fee, minimum \$15
Third Party Vending Machine	\$20
Home Based Business	\$60
Short-term Rental Accommodation	\$60 per rentable bedroom
Contractors and Certified Trades	\$120
Professional and Financial Services	\$150
Liquor or Cannabis Retail Application	\$1,750
All Other Resident Businesses	\$75
All Other Non-Resident Businesses	\$100
Inter-Community Business Licence (ICBL)	\$100

FEE CATEGORY: Temporary Business Licences	
Item	Fee
Community Event with Vendors	\$15 per event
Trade Show or Other Event with Vendors	\$10 per vendor
Outdoor Market	\$100 per day
Mobile Vendor	\$200 per season \$25 per day

FEE CATEGORY: Annual Business Licences	
Item	Fee
Licence Transfer or Change	10% of licence fee, minimum \$15
Third Party Vending Machine	\$20
Non-Profit Organization doing business	\$20
Home Based Business	\$60
Short-term Rental Accommodation	\$60 per rentable bedroom
Cannabis Related Business	\$750
Liquor or Cannabis Retail Application	\$1,750
Regulated Trades & Professions	\$125
All Other Businesses – Resident	\$75
All Other Businesses – Non-Resident	\$100
Inter-Community Business Licence (ICBL)	\$100

FEE CATEGORY: Temporary Business Licences	
Item	Fee
Community Event	\$15 per event
Vendors at Community Event or Trade Show	\$10 per vendor per day
Outdoor Market	\$200 per season
Mobile Vendor	\$200 per season \$25 per day



REQUEST FOR COUNCIL DECISION

PREPARED BY: Catherine Allaway, Corporate Officer

DATE: March 8, 2024

SUBJECT: Encroachment Agreement - 415 Front Street

PURPOSE: To consider authorizing the installation of a light fixture that overhangs the Village sidewalk at 415 Front Street.

RECOMMENDATION:

THAT the Corporate Officer is authorized to sign an encroachment agreement between the Village of Kaslo and the owners of 415 Front Street, to allow building elements to extend over the municipal sidewalk.

ATTACHMENTS:

- See agenda item 5.3.2 regarding DP2024-02

BACKGROUND: The Village has received a Heritage & Commercial Core Development Permit application from the owners of 415 Front Street. The proposed design meets the requirements set forth in the Village's Official Community Plan and the Development Permit has been approved at the staff level.

The proposed design includes a heritage-style metal gooseneck lamp above the front door. Because the building is constructed with no front setback, the light fixture will project beyond the property line and overhang the sidewalk. Where private structures encroach on municipal property an encroachment agreement is used to authorize the development. A condition of the agreement will be that the property owner must maintain insurance coverage to protect the Village from liability relating to the encroaching structure.

A Council resolution is required to authorize the encroachment agreement.

OPTIONS:

Recommendation is indicated in **bold**. Implications are in *italics*.

1. **Authorize an encroachment agreement to allow the lighting. *Staff will prepare and execute the agreement on behalf of the Village, subject to the receipt of adequate insurance coverage.***
2. Do not authorize an encroachment agreement. *The proposed light fixture will not be allowed.*
3. Refer back to staff for further review and report.

CAO Approval: [Date approved by CAO]



REQUEST FOR COUNCIL DECISION

PREPARED BY: Catherine Allaway, Corporate Officer

DATE: March 8, 2024

SUBJECT: Contract Planning Services

PURPOSE: To consider contracting with Dun-Map Inc. to complete updates to the Village's Official Community Plan and Zoning Bylaw.

RECOMMENDATION:

THAT the Village of Kaslo contract with Dun-Map Inc. to prepare a revised Zoning Bylaw and updates to the Official Community Plan, as outlined in the proposal dated March 1, 2024, at a cost not to exceed \$29,000 + GST.

ATTACHMENTS:

- Proposal dated March 1, 2024 from Dun-Map Inc.
- 2023.12.23 letter from Bindi Sawchuk, Assistant Deputy Minister, Housing and Land Use Policy Division, Ministry of Housing

BACKGROUND: The Village received provincial funding of \$154,605 in January 2024 to support activities that bring the municipality into compliance with the requirements of Bills 44, 45 and 47 relating to housing development. Given Mr. Dunlop's familiarity with Kaslo's Official Community Plan (OCP) and Zoning bylaw, he is well positioned to deliver cost-effective updates to these documents.

A Council resolution is required to authorize the direct award, in accordance with the Village's purchasing policy.

OPTIONS:

Recommendation is indicated in **bold**. Implications are in *italics*.

1. **Authorize direct award of the work. *The project will commence immediately, as per the timelines in the proposal.***
2. Do not authorize direct award of the work. *Staff will prepare an RFP for the proposed scope of work and make a recommendation to Council based on the submissions received. The RFP process will take approximately one month.*
3. Refer back to staff for further review and report.

DISCUSSION:

The proposal would expend up to \$29,000 of the available \$154,605, with grant funds covering 100% of the project costs. It is anticipated that expenditure of the remaining grant funds (\$125,605) will involve a public RFP process to secure the services of qualified professionals and ensure transparency.

The Village's purchasing policy generally requires a public tender or RFP process for costs greater than \$10,000 but exceptions are permitted "where Council, by special resolution, makes a direct award valued up to \$75,000 (\$200,000 for construction) that does not need to be posted on BC Bid."

CAO Approval: [Date approved by CAO]



DATE: March 1, 2024

TO: Linda Tynan, Interim CAO
Village of Kaslo

RE: **Zoning Bylaw and Long-Term Housing Planning Project**

Good day, Linda,

Thank you for the opportunity to provide a proposal to assist the Village with updating their development regulations. The following scope of work includes activities that are all eligible under the BC Government's Capacity Funding for Local Government Housing Initiatives program. Due to my extensive experience working with the Village and updating the Official Community Plan, I can offer an ambitious workplan with deliverables that focus on the Village's values and priorities and provides excellent value. This approach frees up the rest of the funding to go towards more detailed planning, engineering and implementation of the development strategies and outcomes that are identified.

The main deliverables are:

- 1) A new zoning bylaw to align with the 2022 Official Community Plan (OCP), 2023 Strategic Plan, and Housing Needs report.
- 2) Setting the groundwork for development of a Kaslo South Lands sub-area plan, as called for in the 2022 OCP.
- 3) Community consultation and presentations to council, as required by the funding program.

Scope of work:

- Monthly meetings with Village staff.
- Review previous housing needs report.
- Review OCP and Strategic Plan to identify policies and objectives that need to be incorporated into revised zoning regulations.
- Review Land Use/Zoning Bylaw to identify possible amendments, including parking regulations.
- Review subdivision servicing bylaw.
- Research bylaws from other small municipalities to identify some best practices.
- Present findings and recommended actions to Council.
- Public consultation on the proposed changes. This will include a public information session, an online survey, and a report on findings.
- Draft a new zoning bylaw.
- Update zoning map and provide a QGIS layer that can be sent to RDCK Geomatics division for their online mapping portal.
- Draft a scope of work for contracting an engineering consultant for revised servicing bylaw review and infrastructure demand management (i.e. capacity of water and sewer systems).
- Draft scope of work for Kaslo South Lands sub-area plan.

- Recommend an approach for housing development and amenity cost charges with consideration of long-term financial plan and asset management.
- Providing reports to management on these matters, which may be included in reports to Council, as feedback to the applicant, or for public information.
- Presentation to Council in open meeting.
- Final version of zoning bylaw for adoption by Council.

Project Budget: \$29,000.00 + GST

Other charges: Approved disbursements, and travel (if required) will be billed at a rate of 70¢/km.

Duration: 7 months

Other terms and conditions:

- An itemized invoice for 10% of the project budget plus the cost of any disbursements will be payable on a monthly basis and the balance of the project budget will become payable at the end of the project.
- The Village of Kaslo will provide staff support for the public information session(s), including arrangements for facility rental, A/V, printing of materials, refreshments.
- The contractor shall not incur liability in excess of the project budget, nor for any incidental or consequential damages arising from the services provided.
- The contractor will not engage any sub-contractor without prior consent of the CAO.
- Out of scope work will be billable at the hourly rate of \$120/hr + GST once approved by the CAO, and added to the monthly invoice.

Project Timeline									
Task	March	April	May	June	July	August	September	October	
Kick-off meeting with Village Staff	█								
Review previous housing needs report.	█	█							
Review OCP and Strategic Plan.	█	█							
Review Land Use/Zoning Bylaw.									
Review subdivision servicing bylaw.			█						
Research other bylaws and practices.									
Compile report		█	█						
Presentations to Council in open meeting.			█		█		█		█
Public consultation on the proposed changes.				█				█	
Draft a new zoning bylaw.					█	█			
Mapping.		█				█		█	
Draft a scope of work for servicing review.				█	█				
Draft scope of work for Kaslo South sub-area plan.		█	█						
Recommend an approach for DCC/ACC/AM.						█	█	█	
Providing reports and updates to management.			█	█	█	█	█	█	
Final version of zoning bylaw for adoption.								█	█

Thanks again for this opportunity. Please let me know if you have any questions or would like me to consider anything else in the scope of work. Enjoy your day.

Sincerely,

Ian Dunlop
 President, Dun-Map Inc.



VIA EMAIL

Ref: 63760

December 21, 2023

Ian Dunlop
Chief Administrative Officer
Village of Kaslo
Email: cao@kaslo.ca

Dear Ian Dunlop:

I am writing to notify you of the funding allocation for the Village of Kaslo from the \$51 million capacity funding for local government implementation of the legislative changes to support housing initiatives, including small-scale multi-unit housing and proactive planning, development finance, and transit-oriented development.

The Village of Kaslo will receive \$154,605 by the end of January 2024.

The funding formula reflects the different legislative requirements for municipalities and regional districts, and that smaller communities may need more financial assistance because they have fewer resources.

The funding formula includes a base amount and a per-capita amount (based on BC Stats 2023 estimates).

- For municipalities, the base amount is \$150,000, and the per-capita amount is \$4.39.
- For regional districts, the base amount is \$80,000 and the per capita amount is \$5.80.

This funding is intended to support activities or projects local governments must undertake to meet the new legislative requirements. Examples include updates to an existing zoning bylaw, parking bylaw, Official Community Plan (OCP), Official Development Plan (ODP), Development Cost Charge (DCC) bylaw, Development Cost Levy (DCL) or

.../2

Housing Needs Report (HNR), as well as the development of a new zoning bylaw, OCP, ODP, DCC, DCL or new amenity cost charge (ACC) bylaw. This funding can also be used to hire staff and/or consultants in support of these activities. More specific information on eligible projects, eligible project costs as well as the reporting requirements will be provided in the funding guidelines when the funding is distributed.

If you have any questions regarding the legislative changes or funding program, please contact Ministry of Housing staff at PLUM@gov.bc.ca or 250-387-3394.

Yours truly,



Bindi Sawchuk
Assistant Deputy Minister
Housing and Land Use Policy Division
Ministry of Housing

pc: Teri Collins, Deputy Minister, Ministry of Housing
Tracy Campbell, Executive Financial Officer, Ministry of Housing
Kaye Krishna, Deputy Minister, Ministry of Transportation and Infrastructure
Okenge Yuma Morisho, Deputy Minister, Ministry of Municipal Affairs
Tara Faganello, Assistant Deputy Minister, Ministry of Municipal Affairs
Kevin Volk, Assistant Deputy Minister, Ministry of Transportation and Infrastructure
Jessica Brooks, Executive Director, Ministry of Housing
Rebecca Penz, Director, Ministry of Housing



REQUEST FOR COUNCIL DECISION

PREPARED BY: Jessie Lay, FireSmart Coordinator

DATE: March 12th 2024

SUBJECT: CRI-2023 Fuel Modification Treatment Award

PURPOSE: To consider awarding contracts to perform fuel modification treatments on municipal land as part of the Village's FireSmart program.

RECOMMENDATION:

THAT the Village of Kaslo contract with Loki to execute manual fuel modification treatments on treatment units 16A and H, for the sum of \$31,450.00 +GST as outlined in their proposal dated March 7th, 2024.

THAT the Village of Kaslo contract with Timber Ridge to execute mechanical fuel modification treatments on treatment unit I, for the sum of \$19,530 plus \$43 per cubic meter +GST as outlined in their proposal dated March 7th, 2024.

ATTACHMENTS:

- RFP #2024-03
- RFP #2024-04
- 2022 CRI Prescription

BACKGROUND:

At the 2023.01.24 Council meeting, an application to the 2023 UBCM CRI Program was authorized. Funding of \$194,250 was approved by UBCM, including \$109,050 for fuel treatment activities on Treatment Units 16A (adjacent to the Water Treatment Plant on Zwicky Road), H (adjacent to the area commonly known as "Lovers", South of Kaslo River and north/west of Fortis power lines) and I (in the area commonly known as "Lovers", near the north/west end of Oak Street).

The treatment units are under prescription developed by a registered professional forester to achieve wildfire risk reduction and forest health objectives. This project contributes to increasing community wildfire resiliency and creates an opportunity for public education around FireSmart and vegetation management consistent with Kaslo's Official Community Plan. The FireSmart Coordinator will facilitate community engagement and public education around project details and objectives through signage, public field tours, and other channels. 2023 CRI funded projects must be within 120 days of completion to be eligible to apply for 2024 CRI funding. Therefore, it is advantageous to execute these projects this Spring.

Treatment Unit	Method of treatment	Size (ha)	Comments
TU 16 A	Manual	0.9	Originally proposed in 2021 as a mechanical treatment. However, during the tender process it was determined that the use of machinery was not possible because of buried pipes, overhead lines and the location of buildings. The Fuel Modification

			Perscription has been modified to make this area a hand treatment.
TU H	Manual	1.5	Adjacent to the Kaslo River Trail. Visibility creates good public education opportunity.
	Total Manual:	2.4	Debris will be hot fed pile burned in the Spring, subject to provincial and municipal regulations and bylaws.
TU I	Mechanical	6.3	Debris will be piled in category 3 small piles 3m x 3m to be burnt in the fall subject to provincial and municipal regulations and bylaws.

Request for Proposals (RFPs) were posted on the Village of Kaslo website and distributed via directed invite to 4 contractors for the manual treatment, and 3 contractors for the mechanical treatment on February 28th. Site visits were completed on March 5th with all but one invitee attending.

The RFP closed at midnight on March 7th with six submissions, three for each manual and mechanical.

Manual:

Criteria	Weight	Options and score (1 low - 10 high)		
		Loki	West Arm	Timber Falls
Timing	30%	10	10	10
Experience	30%	10	10	10
Debris Disposal	20%	10	9	9
Cost	20%	<u>9.5</u>	<u>10</u>	<u>9</u>
Weighted Average		9.9	9.8	9.6

Mechanical:

Criteria	Weight	Options and score (1 low - 5 high)		
		Timber Ridge	Brenton	Turner
Work Experience:	30%	5	5	5
Work Plan:	40%	5	5	5
Cost:	30%	<u>5</u>	<u>4</u>	<u>4</u>
Weighted Average		5	4.7	4.7

This area has been identified for potential future subdivision and development by the Village. The Successful Proponent will harvest in accordance with the specs within the prescription, approximately 60 to 100 cubic meters per hectare and will be responsible for all logs being felled, processed, and decked ready for log truck pickup. The Village will market the logs and pay the trucking. The revenue from the sale of logs is expected to cover the cost of trucking.

OPTIONS:

Recommendation is indicated in **bold**. Implications are in *italics*.

1. **Award contract to Loki for manual treatments and Timber Ridge for mechanical treatments. *Work will begin as soon as conditions allow to capitalize on operational window in advance of wildfire season.***
2. Award contracts to another proponent for manual and mechanical. *Work will begin as soon as conditions allow to capitalize on operational window in advance of wildfire season.*
3. Do not award at this time. *Operations delayed, work may not take place in advance of wildfire season, and implications to CRI 2024 funding application.*
4. Refer back to staff for further review and report.

CAO Approval: [Date approved by CAO]



Village of Kaslo Request for Proposal #2024-03 Kaslo CRI 2023 Wildfire Risk Reduction Project Fuel Management Activities – Manual Units

The Village of Kaslo, BC (the “Village”) wishes to procure the services of a professional contractor to complete fuel management activities on municipal land at various locations throughout the Village.

Kaslo CRI 2023 Wildfire Risk Reduction Project Fuel Management Activities – Manual Units

The Goods and/or Services shall, in all respects, comply this Request for Proposals and the Project Specifications attached hereto unless otherwise explicitly stated.

PROPOSAL SUBMISSION

Proposals shall be submitted by interested parties (“Proponents”) to the Manager of Strategic Initiatives **BY MIDNIGHT, THURSDAY MARCH 7, 2024 (“the Closing Time”)**.

Proposals shall be submitted as a PDF (Adobe Portable Document Format) attachment by confidential e-mail to hawkins@kaslo.ca, with “**Village of Kaslo RFP #2024-03 (CRI 2023, Manual Units)**” in the subject line. These shall be addressed to:

**Village of Kaslo
Colin Hawkins, Manager of Strategic Initiatives
hawkins@kaslo.ca**

The Village of Kaslo accepts no responsibility for lost, misdirected, incomplete or corrupted Proposals sent by electronic means, even if a delivery receipt is requested.

ALL PROPOSALS SUBMITTED SHALL BE IRREVOCABLE AFTER OPENING AND PRICES SHALL REMAIN VALID FOR 30 DAYS.

SCOPE OF WORK

Village of Kaslo is implementing wildfire fuel management activities on two parcels of municipal land. This project is managed by the Village of Kaslo and is part of broader community wildfire risk reduction efforts.

Treatment Units:

- Treatment Unit 16 A of 0.9 hectares located adjacent to the water treatment plant on Zwicky Road.
- TU H of 1.5 hectares, South of the Kaslo River Bridge, North of Highway 31 in an area known locally as Lovers.

Merchantable timber will not be removed from these parcels, although firewood and wood chips may be produced.

The Village may award contracts for one or both of these units, depending on the proposals received.

MANDATORY REQUIREMENTS

- Each Proponent must attend a site viewing on **March 5th at 10:00AM (meet at the Water Treatment Plant)**, unless alternate arrangements are made with Manager of Strategic Initiatives.
- Submit proposal on time, in English and no longer than 5 pages in length.
- Include summary of proponent experience indicating successful completion of similar work and understanding of the project specifications.
- Provide operational Safety Plan that meets WorkSafeBC safety regulations
- Hold Commercial General Liability in an amount of not less than \$5 million per occurrence against bodily injury, personal injury, and property damage
- Hold Forest Fire Fighting expense coverage in the amount of \$ 1 million.
- Name the Village of Kaslo as an additional insured on insurance policies.
- General debris disposal procedures must accompany the Submission Form.

PROPOSAL CONTENTS

The proposals shall outline how proponents intend to complete the work. Using the attached form, proposals should list **for each treatment unit:**

1. Timing of Completion: The proposed start and end date
2. Debris Disposal Technique: i.e. Pile burn, chip and disperse, chip and haul away
3. Total Cost: This includes debris disposal for each Treatment Unit.

The lowest or any bid shall not necessarily be accepted.

PROPOSAL EVALUATION

Proposals will be evaluated based on a combination of total price, proponent experience, project timeline, and a site meeting with the Manager of Strategic Initiatives.

Timing of Completion:	30%
Proponent Experience:	30%
Debris Disposal Technique:	20%
Cost:	20%

The Village shall evaluate the Proposals received and shall award the project to obtain the result that, at the Village's sole discretion and opinion, is financially and functionally prudent, and is assured of the Proponent's professional expertise to complete the job.

AWARD

The final decision on awarding this RFP will be made by Village of Kaslo Council. A decision is expected at their regularly scheduled meeting on March 12th. A recommendation will be made to Council based

on the bid evaluation. The Village reserves the right to not award the project to the lowest price or to accept any Proposal if none comply with budgeted cost, specifications or timeline, and the Village shall have no liability to the Proponents.

The Village of Kaslo shall notify the Signee of the Successful Proponent by telephone or e-mail within 48 hours of the decision. The Successful Proponent and the Village shall formalize a written contract for completion of the project that is satisfactory to both parties, including terms of performance and payment, failing which the Village may offer the project to the next Proponent. The Village shall provide a Purchase Order number to the Proponent for billing purposes. Terms and schedule of payment shall be specified in the contract.

CONTACT

The official point of contact for this RFP is Colin Hawkins, Manager of Strategic Initiatives, Village of Kaslo (hawkins@kaslo.ca). The Manager of Strategic Initiatives may refer questions to Village staff, or others for clarification, but otherwise Proponents must not directly contact any Village employees or members of Council. Such communication may disqualify the Proponent from further consideration in this opportunity.

Alternative arrangements for site visits must be made with the Manager of Strategic Initiatives subject to his availability.

Communications with the Manager of Strategic Initiatives should be in writing, preferably via e-mail. Verbal communications will not be binding on the Village. Proponents shall review the RFP and shall promptly report and request clarification of any discrepancy, deficiency, ambiguity, error, inconsistency, or omission contained therein.

NON-PERFORMANCE

Despite the payment terms arranged between the Successful Proponent and Village by contract, the Village shall have the right to withhold up to 20% of the project price upon completion of the project for 60 days or until such time as any identified deficiencies in workmanship or material are addressed by the Successful Proponent.

If the Successful Proponent does not honour their Proposal, the Successful Proponent and the Village are unable to execute a mutually agreeable contract, or the Successful Proponent substantially fails to meet the expectations of the Village up to and including satisfactory completion of the project the Village may cancel the contract and offer the project to another Proponent or may cancel the project. The Village shall only be liable for payment of the work completed to that date and any materials purchased shall become the property of the Village. The Village shall have no liability to the Proponent for consequential or inconsequential damages in such event. Such Proponent may be disqualified from future purchasing opportunities with the Village.

PROPONENT ASSURANCES

All Proponents will be required to be in good standing with WorkSafeBC and carry a minimum of \$5,000,000 liability insurance satisfactory to the Village. The Proponent is responsible for ensuring a safe

work area is maintained at all times and shall cordon-off areas actively being worked on to keep the general public at a safe distance and at no risk from moving equipment or falling debris.

The Successful Proponent shall be responsible for all related costs including travel, accommodation and meals, and required permits and such costs shall be included in the Proposal. The Successful Proponent shall have or obtain a Village of Kaslo or Inter-Municipal Business License.

By submitting a Proposal, the Proponent indicates their complete understanding of the project including all technical constraints regardless of whether the specifications are clearly stated in this RFP. As such, Proponents are strongly encouraged to arrange a site visit to ensure their complete understanding of all aspects of the current site and situation. Additional charges related to anything that would have been obvious through a site visit shall otherwise be denied by the Village.

ADDENDA AND CLARIFICATION

To facilitate comprehensive responses, Proponents are encouraged to email their questions or clarification requests as soon as possible to hawkins@kaslo.ca. Nothing herein shall obligate the Village to respond to any question or clarification request. The Village may, at its sole discretion, share questions and answers through the Village's website or by email to provide all potential Proponents with appropriate clarification. If questions or requests for clarification result in a substantial change to the project specifications, the deadline may be extended at the discretion of the Village.

ATTACHMENTS:

1. Fuel Modification Prescription;
2. Proponent Information Sheet;
3. Proponent Submission Form;
4. Overview Maps showing TU 16 A and TU H in yellow.

PROPONENT INFORMATION SHEET – RFP #2024-03 (CRI 2023, Manual Units)

COMPANY NAME: _____

ADDRESS: _____

CITY, PROVINCE, POSTAL CODE _____

TELEPHONE _____

FAX _____

EMAIL ADDRESS _____

DATE _____

NAME & POSITION OF PERSON SIGNING (the “Signee”)

I ACKNOWLEDGE DOWNLOADING AND UNDERSTANDING THE
TREATMENT UNIT SPECIFICATION FILES VIA THE LINK PROVIDED

SIGNATURE

“I have fully read & understand this Request for Proposal and I have the authority to bind the Corporation/Company”

Kaslo CRI 2023 Wildfire Risk Reduction Project

Proponent Submission Form

Proponent Company Name: _____

Proponent Representative: _____

Mandatory Requirements (Check to confirm)

Operational Safety Plan that meets WorkSafeBC safety regulations
Commercial General Liability in an amount of not less than \$5 million
Forest Fire Fighting expense coverage in the amount of \$ 1 million.
Will name Village of Kaslo as an additional insured.

Treatment Unit Proposal Details

Treatment Unit	Location	Size (ha)	Start Date	End Date	Debris Disposal *	Cost (\$) Not including GST
TU 16 A	Water Treatment Plant	0.9				
TU H	Lovers	1.5				
TOTAL		2.4				

Please attach a summary of debris disposal techniques for each unit.

* Debris Disposal: B = Burn. CD = Chip and Disperse. CH = Chip and Haul.



Village of Kaslo Request for Proposal #2024-04 Kaslo CRI 2023 Wildfire Risk Reduction Project Fuel Management Activities – Mechanical Unit

The Village of Kaslo, BC (the “Village”) wishes to procure the services of a professional contractor to complete fuel management activities on municipal land.

Kaslo CRI 2023 Wildfire Risk Reduction Project Fuel Management Activities – Mechanical Unit

The Goods and/or Services shall, in all respects, comply this Request for Proposals and the Project Specifications attached hereto unless otherwise explicitly stated.

PROPOSAL SUBMISSION

Proposals shall be submitted by interested parties (“Proponents”) to the Manager of Strategic Initiatives **BY MIDNIGHT, THURSDAY MARCH 7, 2024 (“the Closing Time”)**.

Proposals shall be submitted as a PDF (Adobe Portable Document Format) attachment by confidential e-mail to hawkins@kaslo.ca, with “**Village of Kaslo RFP #2024-04 (CRI 2023, Mechanical Unit)**” in the subject line. These shall be addressed to:

Village of Kaslo
Colin Hawkins, Manager of Strategic Initiatives
hawkins@kaslo.ca

The Village of Kaslo accepts no responsibility for lost, misdirected, incomplete or corrupted Proposals sent by electronic means, even if a delivery receipt is requested. Proposals sent as e-mail attachment files shall not be opened and printed until after the Closing Time.

ALL PROPOSALS SUBMITTED SHALL BE IRREVOCABLE AFTER OPENING AND PRICES SHALL REMAIN VALID FOR 30 DAYS.

SCOPE OF WORK

Village of Kaslo is implementing wildfire fuel management activities on one parcel of municipal land. This project is managed by the Village of Kaslo and is part of broader community wildfire risk reduction efforts.

- Treatment Unit I of 6.3 hectares located South of the Kaslo River Bridge and North of Highway 31 in an area known locally as Lovers.

This project involves harvesting and selling logs, cleaning up post-harvest debris, pruning retained trees and rehabilitating trails after the project is complete.

MANDATORY REQUIREMENTS

- Each Proponent must attend a site viewing on **March 5th at 12:30 PM (meet at the River Trailhead behind the Public Works Yard)**, unless alternate arrangements are made with Manager of Strategic Initiatives.
- Submit Proposal on time, in English and no longer than 5 pages in length.
- Include summary of proponent experience indicating successful completion of similar work and understanding of the project specifications.
- Provide operational Safety Plan that meets WorkSafeBC safety regulations
- Hold Commercial General Liability in an amount of not less than \$5 million per occurrence against bodily injury, personal injury, and property damage
- Hold Forest Fire Fighting expense coverage in the amount of \$ 1 million.
- Name the Village of Kaslo as an additional insured.
- General debris disposal procedures to accompany the Submission Form.

PROPOSAL CONTENTS

The Proposals shall outline how Proponents intend to complete the work, specifically:

1. Work experience: Summarize similar work completed and provide contact information for three references that can speak to the details of these projects.
2. Workplan: Summarize how the work will successfully be completed including:
 - Timing of operations;
 - Crew size;
 - Equipment being used;
 - Debris disposal methods. Options include chip on site and haul away or pile and burn with preference for chipping and burning as a last resort. Note that this work may also include historic piles and existing cut debris.
 - Ensuring public safety; and
 - Any other information relevant to the Proposal.
3. Cost: What is the total cost for treatment including debris disposal.

The lowest or any bid shall not necessarily be accepted.

PROPOSAL EVALUATION

Proposals will be evaluated based on a combination of total price, Proponent experience, project timeline, and a site meeting with the Manager of Strategic Initiatives.

Work Experience:	30%
Workplan	40%
Cost:	30%

The Village shall evaluate the Proposals received and shall award the project to obtain the result that, at the Village's sole discretion and opinion, is financially and functionally prudent, and is assured of the Proponent's professional expertise to complete the job.

AWARD

The final decision on awarding this RFP will be made by Village of Kaslo Council. A decision is expected at their regularly scheduled meeting on March 12th. A recommendation will be made to Council based on the bid evaluation. The Village reserves the right to not award the project to the lowest price or to accept any Proposal if none comply with budgeted cost, specifications or timeline, and the Village shall have no liability to the Proponents.

The Village of Kaslo shall notify the Signee of the Successful Proponent by telephone or e-mail within 48 hours of the decision. The Successful Proponent and the Village shall formalize a written contract for completion of the project that is satisfactory to both parties, including terms of performance and payment, failing which the Village may offer the project to the next Proponent. The Village shall provide a Purchase Order number to the Proponent for billing purposes. Terms and schedule of payment shall be specified in the contract.

CONTACT

The official point of contact for this RFP is Colin Hawkins, Manager of Strategic Initiatives, Village of Kaslo (hawkins@kaslo.ca). The Manager of Strategic Initiatives may refer questions to Village staff, or others for clarification, but otherwise Proponents must not directly contact any Village employees or members of Council. Such communication may disqualify the Proponent from further consideration in this opportunity.

Alternative arrangements for site visits must be made with the Manager of Strategic Initiatives subject to his availability.

Communications with the Manager of Strategic Initiatives should be in writing, preferably via e-mail. Verbal communications will not be binding on the Village. Proponents shall review the RFP and shall promptly report and request clarification of any discrepancy, deficiency, ambiguity, error, inconsistency, or omission contained therein.

NON-PERFORMANCE

Despite the payment terms arranged between the Successful Proponent and Village by contract, the Village shall have the right to withhold up to 20% of the project price upon completion of the project for 60 days or until such time as any identified deficiencies in workmanship or material are addressed by the Successful Proponent.

If the Successful Proponent does not honour their Proposal, the Successful Proponent and the Village are unable to execute a mutually agreeable contract, or the Successful Proponent substantially fails to meet the expectations of the Village up to and including satisfactory completion of the project the Village may cancel the contract and offer the project to another Proponent or may cancel the project. The Village shall only be liable for payment of the work completed to that date and any materials purchased shall become the property of the Village. The Village shall have no liability to the Proponent for consequential or inconsequential damages in such event. Such Proponent may be disqualified from future purchasing opportunities with the Village.

PROPONENT ASSURANCES

All Proponents will be required to be in good standing with WorkSafeBC and carry a minimum of \$5,000,000 liability insurance satisfactory to the Village. The Proponent is responsible for ensuring a safe work area is maintained at all times and shall cordon-off areas actively being worked on to keep the general public at a safe distance away and at no risk from moving equipment or falling debris.

The Successful Proponent shall be responsible for all related costs including travel, accommodation and meals, and required permits and such costs shall be included in the Bid Price. The Successful Proponent shall have or obtain a Village of Kaslo or Inter-Municipal Business License.

By submitting a Proposal, the Proponent indicates their complete understanding of the project including all technical constraints regardless of whether the specifications are clearly stated in this RFP. As such, Proponents are strongly encouraged to arrange a site visit to ensure their complete understanding of all aspects of the current site and situation. Additional charges related to anything that would have been obvious through a site visit shall otherwise be denied by the Village.

ADDENDA AND CLARIFICATION

To facilitate comprehensive responses, Proponents are encouraged to email their questions or clarification requests as soon as possible to hawkins@kaslo.ca. Nothing herein shall obligate the Village to respond to any question or clarification request. The Village may, at its sole discretion, share questions and answers through the Village's website or by email to provide all potential Proponents with appropriate clarification. If questions or requests for clarification result in a substantial change to the project specifications, the deadline may be extended at the discretion of the Village.

ATTACHMENTS:

1. Fuel Modification Prescription;
2. Proponent Information Sheet;
3. Proponent Submission Form;
4. Overview Map showing TU I in orange.

PROPOSER INFORMATION SHEET – RFP #2024-04 (CRI 2023, Mechanical Unit)

COMPANY NAME: _____

ADDRESS: _____

CITY, PROVINCE, POSTAL CODE _____

TELEPHONE _____

FAX _____

EMAIL ADDRESS _____

DATE _____

NAME & POSITION OF PERSON SIGNING (the “Signee”)

I ACKNOWLEDGE DOWNLOADING AND UNDERSTANDING THE
TREATMENT UNIT SPECIFICATION FILES VIA THE LINK PROVIDED

SIGNATURE

“I have fully read & understand this Request for Proposal and I have the authority to bind the Corporation/Company”

Kaslo 2023 CRI Wildfire Risk Reduction Project

Proponent Submission Form

Proponent Company Name: _____

Proponent Representative: _____

Mandatory Requirements (Check to confirm)

Operational Safety Plan that meets WorkSafeBC safety regulations
Commercial General Liability in an amount of not less than \$5 million
Forest Fire Fighting expense coverage in the amount of \$ 1 million.
Will name Village of Kaslo as an additional insured.

Treatment Unit Proposal Details

Treatment Unit	Location	Size (ha)	Start Date	End Date	Debris Disposal *	Cost (\$) Not including GST
TU I	Lovers	6.3				
TOTAL		6.3				

Please attach a summary of debris disposal techniques for each unit.

* Debris Disposal: B = Burn. CD = Chip and Disperse. CH = Chip and Haul.

FUEL MANAGEMENT PRESCRIPTION

LICENSEE COMMERCIAL HARVEST

A. PROJECT & TENURE IDENTIFICATION				
Prepared by: John Cathro, RPF Mark Elder, ASTFT Box 1193, Zwicky Road Kaslo, BC, V0G 1M0			Prepared for: Ian Dunlop Village of Kaslo CAO	
PROJECT ID and UNIT ID: Kaslo 2022CRI Wildfire Risk Reduction Project	LOCATION: Various	OPENING NUMBER: TU 23 - 2022	LATITUDE/LONGITUDE: 49.906356°N 116.913838°W	HIGHER LEVEL PLAN: Kootenay- Boundary Higher Level Plan Order
LICENCE #: N/A	CP: N/A	BLOCK: TU 23 and all subunits	TENURE HOLDER: Kaslo Municipal Land	FOREST STEWARDSHIP PLAN: N/A
Relevant Higher-level Plans: <ul style="list-style-type: none"> ● Regional District of Central Kootenay Area D and Kaslo Community Wildfire Protection Plan Update – 2016 (2016), ● Kootenay-Boundary Land Use Plan¹, ● BC Wildfire Service Risk Reduction Planning Standard (2018), ● 2021 Fuel Management Prescription Guidance 				

Treatment Rationale and Site Summary

This FMP is for Municipal land owned by then Village of Kaslo. Some of these areas are new FMP areas and some were treated between 2010 and 2021 but were not under prescription using this FMP template and provincial guidelines. As a result this FMP brings all of these areas under one FMP to facilitate access to funding for implementation. Over time, other municipal parcels may be added to this FMP

These areas were ranked as a ‘high’ treatment priority in the Kaslo and Area D Community Wildfire Protection Plan Update (2016). They are classified as ‘high’ fire behaviour WUI threat when using the 2018 Wildland Urban Interface (WUI) Wildfire Threat Assessment Worksheet. Fire behaviour was classified as ‘high’ because the areas contain a high proportion of C-3 and C-4 fuel types, ladder fuels and high levels of coarse woody fuel loading. These areas are particularly important because they are located adjacent to homes, recreation trails and municipal infrastructure.

¹ https://www.for.gov.bc.ca/tasb/slrp/pdf/LRMP/west_kootenay_plan.pdf

B. FUEL MANAGEMENT DESCRIPTION

This prescription is designed to be consistent with the applicable Kootenay-Boundary Land Use Plan and other local government planning. While this prescription has been developed primarily to reduce fuel hazard and wildfire risk, it is also designed to maintain and enhance key ecological values such as biodiversity and wildlife habitat, and to promote ecosystem resilience by taking steps to reduce the impacts of existing forest health concerns.

Once the following strategies have been implemented, the resulting forest should not require maintenance works until 10-15 years after treatment. Maintenance activities will be significantly reduced as compared to the activities proposed in this FMP and should include: pruning, fine/ medium surface fuel removal and tree thinning.

Fuel Management Objectives	<ul style="list-style-type: none"> ● Influence fire behaviour to reduce rate of spread and fire intensity. ● Increase resilience to climate change. ● Increase protection and improve defensibility of private resident homes and values at risk, ● In the event of a wildfire, this treatment can provide a safer environment for firefighters to anchor tactical fire suppression actions; ● Emulate the pattern of natural disturbances that have historically acted upon local forest ecosystems; ● Accelerate succession to mature and older-growth forest structural conditions with generally lower stand densities; ● Minimize negative impacts to, and where possible enhance, the many values of the treated forest, including source water protection and forest health.
Strategies	<ul style="list-style-type: none"> ● Generally speaking, create conditions that emulate a 'shaded fuel break': a forested area normally containing a C-7 or C-5 fuel type and which are meant to be self-sustaining and permanent; ● Reduce conifer crown bulk density and crown closure by employing a thin from below method that: <ul style="list-style-type: none"> ● Removes a vast majority of the forest's understory conifers, ● Removes of a sufficient amount of overstory conifers; ● Significantly reduce ladder/vertical fuel continuity by removing flammable understory vegetation and increasing the forest's crown base height; ● Reduce fine/medium surface fuels and flammable understory vegetation to reduce the risk and expected intensity of surface fire; ● Retain and promote regeneration and growth of deciduous tree and shrub species to reduce fire risk and improve wildlife habitat; ● Preferentially retain large mature Douglas-fir, western larch, Ponderosa pine, while preferentially removing less drought- and fire-adapted tree species such as cedar, hemlock and lodgepole pine; and ● Establish the necessary post treatment debris distribution to support prescribed fire, pending the completion of a burn plan
Methods	<ul style="list-style-type: none"> ● Debris disposal through pile and burn, hazard tree removal, pruning, surface fuel reduction, coarse wood management. ● Tree removal will include commercial thin, and manual thin from below in accordance with recommended cutting specifications.

C. TREATMENT UNIT (TU) SUMMARY

** NOTE: Treatment Unit 23 is comprised of multiple subunits as follows:

- Manual thin subunits: TU23-E, F, G, H, N, O, P, and Q. These subunits are comprised of areas that have not been previously treated and require fuel management.
- Maintenance Manual thins subunits: TU23-A, B, C, D, J, K, L, and M. These subunits are comprised of areas that have been previously treated and do not require fuel management at the time of assessment.
- Mechanized thin subunits: TU23-I. This subunit has had some previously treated area and requires further fuel management.

TU Name	NET AREA (ha)	GROSS AREA (ha)	LEAVE AREAS (ha)	NP (ha)	NAR (ha)	TREATMENT REGIME	GENERAL DESCRIPTION
TU23-A	4.7	4.7	-	-	-	TFB, PRUNE, SFR, CHIP, PIL, BURN, HTR	Manual thin treatment occurred in 2021 Maintenance Unit, requires reassessment in 5, 10, 15-year intervals
TU23-B	0.6	0.6	-	-	-	TFB, PRUNE, SFR, CHIP, PIL, BURN, HTR	Manual thin treatment occurred in 2021 Maintenance Unit, requires reassessment in 5, 10, 15-year intervals
TU23-C	1.0	1.0	-	-	-	TFB, PRUNE, SFR, CHIP, PIL, BURN, HTR	Manual thin treatment occurred in 2021 Maintenance Unit, requires reassessment in 5, 10, 15-year intervals
TU23-D	4.8	4.8	-	-	-	TFB, PRUNE, SFR, CHIP, PIL, BURN, HTR	Manual thin treatment occurred in 2014 Maintenance Unit, requires reassessment in 5, 10, 15-year intervals

TU23-E	0.3	0.3	-	-	-	TFB, PRUNE, SFR, CHIP, PIL, BURN, HTR	<p>Previously fuel treated in 2011, this area is largely comprised of a stand structure with a C-5 fuel type, with Cw, Hw. Treatment will target Cw, Hw understory and blowdown patches.</p> <p>Access is via Arena Avenue where crews use non-motorized access to the unit via trails known as Kaslo River South and Letrrari Loop.</p>
TU23-F	0.8	0.8	-	-	-	TFB, PRUNE, SFR, CHIP, PIL, BURN, HTR	<p>Previously fuel treated in 2011, this area is largely comprised of a stand structure with a C-5 fuel type, with Cw, Hw.</p> <p>The unit requires maintenance treatment for blowdown and understory ingress from the previous treatment.</p> <p>Access is via Arena Avenue where crews use non-motorized access to the unit via trails known as Kaslo River South and Letrrari Loop.</p>
TU23-G	4.2	4.2	-	-	-	TFB, PRUNE, SFR, CHIP, PIL, BURN, HTR,	<p>This stand is comprised of largely C-4 fuel types, with areas of concentrated dead fall due to minor slope destabilization areas from historical runoff events.</p> <p>Access and terrain limitations (steep slopes) lending this unit to a manual thin from below treatment regime, with potential to remove merchantable deadfall, utilizing access points from Arena Avenue and Spruce Street. The Kaslo River Trail will require significant upgrades to allow access of small machinery to remove merchantable wood. Collaboration with Kaslo recreation and trail clubs must be completed prior to initiating implementation. Access to the unit is either from Arena Avenue or the Kaslo River Trail from Spruce Street.</p> <p>This area includes an art installation. Prior to implementation, the recreation clubs, and the artist will be consulted to preserve or enhance the art installation.</p>

TU23-H	1.5	1.5	-	-	-	TFB, PRUNE, SFR, CHIP, PIL, BURN, HTR	<p>This stand is comprised of C-5 with C-4 intermixed. C-4 fuel types are indicative of understory stems from previous disturbance (overstory removal presumably for commercial harvest).</p> <p>The overstory is dominated by a variable mix of Cw, Hw, Lw, Fd with a Cw, Hw understory. The unit proximal to multiple pieces of infrastructure, an un-registered campsite known as "Lovers", a powerline on the eastern flank, a recreation trail runs the length of the unit, and an electrical power station situated south of the southern boundary.</p> <p>Access and terrain limitations (steep slopes) lending this unit to a manual thin from below treatment regime. Access is from Arena Avenue or from the Kaslo River Trail.</p>
TU23-I- Commercial Thin	6.3	6.3	-	-	-	CT, TFB, PRUNE, SFR, CHIP, PIL, BURN, HTR	<p>This stand is comprised of C-5 in areas that have been previously commercially harvested in 2009. Areas that were not commercially thinned are more dense stands, lending themselves more to C-4/C-3 fuel types.</p> <p>The overstory is dominated by a variable mix of Lw, Fd, Cw and Hw, with a Cw Hw understory. The unit sits adjacent to multiple pieces of infrastructure, an un-registered campsite known as "Lovers", a powerline on the western flank, a recreation trail bisecting the unit, and an electrical power station situated immediately south of the southern boundary.</p>
TU23-J	3.7	3.7	-	-	-	TFB, PRUNE, SFR, CHIP, PIL, BURN, HTR	<p>Manual thin treatment occurred in 2011 Maintenance Unit, requires reassessment in 5, 10, 15-year intervals</p>
TU23-K	1.5	1.5	-	-	-	TFB, PRUNE, SFR, CHIP, PIL, BURN, HTR	<p>Manual thin treatment occurred in 2021 Maintenance Unit, requires reassessment in 5, 10, 15-year intervals</p>

TU23-L	0.1	0.1	-	-	-	TFB, PRUNE, SFR, CHIP, PIL, BURN, HTR	Manual thin treatment occurred in 2021 Maintenance Unit, requires reassessment in 5, 10, 15-year intervals
TU23-M	0.1	0.1	-	-	-	TFB, PRUNE, SFR, CHIP, PIL, BURN, HTR	Manual thin treatment occurred in 2021 Maintenance Unit, requires reassessment in 5, 10, 15-year intervals
TU23-N	1.7	1.7	-	-	-	TFB, PRUNE, SFR, CHIP, PIL, BURN, HTR	This unit is steep with C-5/C-3 fuel types. An S6 watercourse flows from south to north bisecting this unit. No piles or tree removal will occur within the RRZ of this watercourse. Access will be from Kaslo-West Rd which leads to the Kaslo Transfer Station.
TU23-O	0.8	0.8	-	-	-	TFB, PRUNE, SFR, CHIP, PIL, BURN, HTR	This stand is comprised of largely C-3 fuel types with primarily Cw, Hw overstory and understory.
TU23-P	1.4	1.4	-	-	-	TFB, PRUNE, SFR, CHIP, PIL, BURN, HTR	Previously fuel treated in 2011, this area is largely comprised of a stand structure with a C-5 fuel type, with Cw, Hw. The 2011 treatment resulted in cutting and piling, however the treatment retained tens of unburned debris piles. Treatment of this unit includes manual TFB, PRUNE, SFR, HTR as well as the disposal of the legacy piles on site.
TU23-Q	0.3	0.3	-	-	-	TFB, PRUNE, SFR, CHIP, PIL, BURN, HTR	This stand is comprised of largely C-4 fuel types with primarily Cw, Hw. Access limitations (seasonal water flow through Heine Brook aka "Mud Road") lending this unit to a manual thin from below treatment regime.

No Treat B			0.5	-	-	N/A	Manual thin treatment occurred in 2014 Assessed in 2023: does not require treatment. Requires reassessment in 5, 10, 15-year intervals
No Treat E			0.7	-	-	N/A	Manual thin treatment occurred in 2014 Assessed in 2023: does not require treatment. Requires reassessment in 5, 10, 15-year intervals
No Treat K			1.7	-	-	N/A	Manual thin treatment occurred in 2014 Assessed in 2023: does not require treatment. Requires reassessment in 5, 10, 15-year intervals
No Treat L			0.1	-	-	N/A	Manual thin treatment occurred in 2014 Assessed in 2023: does not require treatment. Requires reassessment in 5, 10, 15-year intervals
No Treat P			0.7	-	-	N/A	Manual thin treatment occurred in 2014 Assessed in 2023: does not require treatment. Requires reassessment in 5, 10, 15-year intervals
No Treat Q			2.2	-	-	N/A	Manual thin treatment occurred in 2014 Assessed in 2023: does not require treatment. Requires reassessment in 5, 10, 15-year intervals

TOTAL	33.8	39.8	6.0				
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CT: Commercial Thin, TFB: Thin from Below, PRUNE: prune, SFR: Surface Fuel Removal, CHIP: chip, PIL: build piles, BURN: burn piles, HTR: Hazard Tree Removal. PB: Prescribed Burn

D. SITE CHARACTERISTICS							
TU	CFFBPS FUEL TYPE	TIMBER TYPE (% BA)	BGC SUBZONE, VARIANT & SITE ASSOC.	ELEV. RANGE (m)	SLOPE POSITION	SLOPE (%)	ASPECT
TU23-I (Mechanical)	C-5/C-4	Hw50Lw25LCw 15Pw10	ICHdw-101	560-610	Lower-Slope	20-50	N
TU23-E, F, G, H, N, O, P + Q (Manual)	C-5	Hw80Cw10Lw10	ICHdw-101	560-610	Lower-Slope	20-50	N
TU23-A, B, C, D, J, K, L + M (Maintenance)	C-5	Hw55Fd20Cw15Lw5At5	ICHdw-101	560-610	Lower-Slope	20-50	N
Fuel Type Determination	All Units: This forest stand is characterized as C-5 with pockets of C-4. This is determined by the overstory stand density (350 SPH), and moderate fuel strata gap in previously treated stands. Areas defined as C-4, have patchy areas of surface fuels as a result of blowdown, and continuous horizontal distribution of very dense ladder fuels, due to coniferous ingrowth of since 2011 in many areas..						

E. SOIL CHARACTERISTICS							
TU	SOIL TEXTURE	DUFF DEPTH (cm)	COARSE FRAGMENTS (%)	SOIL DISTURBANCE LIMIT (%)	SOIL HAZARD RATING		
					Compaction	Erosion	Displacement
TU23-I (Mechanical)	LS	6	30	10	M	M-H	M-H
TU23-E, F, G, H, N, O, P + Q (Manual)	LS	6	30	5	L	L	L
TU23-A, B, C, D, J, K, L + M (Maintenance)	LS	6	30	5	L	L	L

F. FUEL STRUCTURE								
TU	Existing Surface Fuel Loading (kg/m ²)		Target Surface Fuel Loading (kg/m ²)		Existing Distribution	Target Distribution	Existing Crown Closure (%)	Target Crown Closure (%)
	≤ 7.0 cm	> 7.0cm	≤ 7.0cm	> 7.0cm				
TU23-I (Mechanical)	1.2	3.4	0.75	1.5	Dispersed	Dispersed	45	30

TU23-E, F, G, H, N, O, P + Q (Manual)	2.2	2.5	0.75	1.5	Patchy	Dispersed	50	30
TU23-A, B, C, D, J, K, L + M (Maintenance)	0.7	1.4	0.75	1.5	Dispersed	Dispersed	45	30
Surface Fuel Measurement Method	USDA Photoload Sampling Technique, 2007							

G. TREATMENT SPECIFICATION SUMMARY	
TU	TREE REMOVAL/ RETENTION STRATEGY BY SIZE/ SPECIES (Summarize specifications identified in Stand/ Stock Table)
TU23-I (Mechanical)	<p>Overstory Stems: Thin from below up to 35 cm DBH to a total target average overstory (+17.5 cm DBH) density of 200 SPH (+/- 50 SPH) or an average basal area retention of 16 m²/ha.</p> <p>Understory Stems: Retain an average of 150 SPH of understory stems.</p>
TU23-E, F, G, H, N, O, P + Q (Manual)	<p>Overstory Stems: Thin from below up to 17.5 cm DBH to resulting in a total target average overstory (+17.5 cm DBH) density of 1220 SPH (+/- 50 SPH) or an average basal area retention of 55m²/ha.</p> <p>Understory Stems: Thin understory stems from below (under 17.5cm DBH), removing approximately 1,100 sph and retaining 50 sph.</p>
TU23-A, B, C, D, J, K, L + M (Maintenance)	Reassess the need for retreatment in intervals of 5, 10, 15 years
TREATMENT SPECIFICATION RATIONALE	
<p>The main goal for all TU's will be to create a relatively even-spaced forest, retaining the healthiest and most fire resistant mature trees having a height to diameter ratio of 0.80 or less. After treatment and when adjacent tree crowns coalesce, the area will display characteristics of a shaded fuel break.</p> <p>For overstory trees across all TUs:</p> <ul style="list-style-type: none"> ● Remove all dead standing trees, except when designated high value wildfire trees. ● Favour retention of the largest DBH trees, the healthiest trees, and those trees having a height to diameter ratio of .80 or less. ● Non-thrifty or unhealthy trees should be targeted for removal. In all TUs, preference for conifer tree retention will be (in descending order): Fd, Lw and Cw. ● Retain vet trees of all species greater than 45 cm dbh ● Retain all living deciduous overstory and Pw stems without blister rust ● Scarring, marking and/or scorching of retained trees will represent < 10% of retained trees, measured by net hectare ● The creation of openings will be identified post treatment and may potentially be reforested. <p>For understory trees across all TUs:</p> <ul style="list-style-type: none"> ● Remove all dead standing trees ● Non-thrifty or unhealthy trees should be targeted for removal. In all TUs, preference for conifer tree retention will be (in descending order): Fd, Lw and Cw. ● Retain all living deciduous understory, Western Yew and Pw stems without blister rust ● Scarring, marking and/or scorching of retained trees will represent < 10% of retained trees, measured by net ha. ● Maximum stump height will be 15 cm and cut at an angle < 10 deg. <p>The table below represents the predicted changes in wildfire intensity and behaviour pre- and post-treatment. See</p>	

Appendix F for fire behavior modeling results. Standing fuel and surface fuel removal targets were determined with the goal of producing a maximum allowable fire intensity of $\leq 2,000$ kW/m. Predicted pre- and post-fire behavior was modelled using 90th percentile weather, crown bulk density (kg/m^3), crown base height (m), and surface fuel loading (kg/m^2) inputs into FuelCalc BC.

Pre- and post-treatment results predict the following fire behavior reductions below for both TUs (23-I mech and 23-Manual):

TU 23-I Mechanical:

Factor	PRE	POST
Surface Fuel Load	0.86	0.75
90th percentile FFMC	94.3	
90th percentile ISI	14.17	
90th percentile BUI	120.4	
Rate of Spread (m/min) (Red book)	5	
Fire Type (Red Book)	surface	
Likelihood Crown Fire (CFIS)	93%	0%
Fire Type (CFIS)	passive crown	surface
Crown Fire ROS (m/min) CFIS	6.3	N/A
Wildfire Intensity	1290	1125
Surface Fire Intensity	1310.43	1152
Critical Surface Fire Intensity (kW/m)	379.82	937.8
Flame Length	2.09	1.96
Crown Bulk Density (kg/m^3)	0.174	0.011
Canopy Base Height (m)	1.79	3.27
Canopy Fuel Load (kg/m^2)	0.71	0.116
Lethal Crown Scorch Height (m)	17.57	16.04

TU23-Manual:

Factor	PRE	POST
Surface Fuel Load	1.46	0.5
Fuel Type	C3	
90th percentile FFMC	94.3	
90th percentile ISI	14.17	
90th percentile BUI	120.4	
Rate of Spread (m/min) (Red book)	12	
Fire Type (Red Book)	intermittent crown	
Fire Type (CFIS)	active crown	surface fire
Likelihood Crown Fire (CFIS)	96%	8%
Crown Fire ROS (m/min) CFIS	18.1	N/A
Wildfire Intensity	5256	1800
Surface Fire Intensity	4776.03	1786.08
Critical Surface Fire Intensity (kW/m)	1350.53	2818.53
Flame Length	3.99	2.44
Crown Bulk Density (kg/m ³)	0.325	0.301
Canopy Base Height (m)	4.17	6.81
Canopy Fuel Load (kg/m ²)	2.224	1.746
Lethal Crown Scorch Height (m)	44.83	21.94

H. FOREST HEALTH CONSIDERATIONS

FOREST HEALTH ASSESSMENTS

TU	AGENT	SPECIES AFFECTED	INCIDENCE (%)	MORTALITY
TU23-I (Mechanical)	DML	Lw	5	Infrequent
TU23-I (Mechanical)	DSB	Pw	5	Infrequent
TU23-E, F, G, H, N, O, P + Q (Manual)	DRA	Hw, Fd	5	Moderate
TU23-A, B, C, D, J, K, L + M (Maintenance)	DSB	Pw	5	Infrequent

Implications: These forest health issues have caused very few dead standing Fd, Hw and Pw that will be felled and managed. Often these trees represent potential overhead hazards to recreational hikers. These trees also represent future coarse fuel loading.

WINDTHROW ASSESSMENTS

TU	Windthrow Site Hazard	Biophysical Hazard	Treatment Risk	Windthrow Risk
ALL	M	M	L	L

Implications: The moderate ratings for site and biophysical hazards are a result of the position of the treatment area: approximately 1 km from a large waterbody and not in a particularly exposed zone. Although these features exist, the overall windthrow risk is moderate. To support this conclusion the prescribing foresters saw minimal evidence of relatively recent windthrow activity. The treatment risk is reduced due to the fact that primarily understory trees and surface fuels are to be cut and pile burned.

I: TREATMENT SPECIFICATIONS

ACTIVITY	TREATMENT SPECIFICATIONS
ROADS, LANDINGS AND TRAILS	<p>For All TU's: All proposed roads and access mentioned within this FMP document and associated maps are considered semi-permanent. The proposed roads have already been built (see Appendix B Maps).</p> <p>The maximum soil disturbance limit (those which require rehabilitation) for all TUs is 10%. This will be measured as the net area within each 1 ha area where the soil disturbance occurs or at the contract supervisor's discretion. Whenever practicable, machines should use existing old roads and skid trails. Bladed trails must be in consultation with the contract supervisor and must avoid areas of seepage. In the process of burning, debris hauling, and equipment transport:</p> <ul style="list-style-type: none"> ● Minimize soil disturbance and forest floor displacement, ● Machine access corridors must be approved by VoK representatives, mapped and photo-documented prior to treatment <p>Should an unacceptable level of soil disturbance occur on trails or within the treatment area,</p>

	VoK representatives will develop an appropriate rehabilitation plan
FIELD MARKING CONVENTIONS:	Treatment unit boundary – orange labeled Block Boundary; Falling corners – Double orange labeled Block Boundary ribbon with paint and lime ribbon stating block, TU, falling corner and date information; Sample plot – double yellow and white ribbon stating plot number, unit, surveyor, and date.
WILDLIFE/ DANGER TREES	Danger trees will be felled during the harvesting stage using mechanized equipment. If certain danger trees are not removed due to wildlife value, the contractor must place no-work zones around these retained unsafe trees. These trees must be clearly marked in the field. Retention of high-value wildlife trees should occur if they represent <5% of each treatment unit.
COARSE FUELS (>7.5 cm diameter)	<p>CWD is an important habitat element. Where available, retain a minimum of 50 pieces/ ha (equates to 20 m spacing) with a preference for larger CWD pieces (> 25 cm diameter at top) and > 3 meter in length, scattered randomly throughout each TU. Existing decayed large diameter CWD (> decay class 3 or higher²) will be given preference for retention to enhance wildlife habitat and ecosystem values. CWD in decay class 4 or above will be not counted towards the CWD target.</p> <p>Retained CWD should be left unbucked whenever possible but bucked if necessary, so that it lays flat to the ground along the majority of its length.</p> <p>The maximum amount of CWD will be set at 150 pieces per hectare. A piece is defined as a 5-meter length and therefore a long log may be counted as multiple pieces.</p>
FINE (0-2.5 cm); MEDIUM (2.5 – 7.5 cm) FUELS	Continuous fine and medium fuels are a significant hazard within all TUs. Fine and medium fuels will be scattered and discontinuous throughout each TU.
PRUNING	Prune to 2.5 m. Retained conifers of all L1 (>12.5cm), L2 (7.5-12.5cm), and L3 (2.5-7.5cm) size classes will be pruned. Pruning will remove branches to a height that maintains at least 40% of the total tree height as live crown. Pruning will be measured from the ground to the lowest reaching point of a branch (usually the branch tip). Pruning cuts will aim to be flush with the tree stem without cutting into the branch collar, and branch stubs must be less than 1cm long.
DEBRIS DISPOSAL - BURNING	<p>Burning will be permitted in all TU's. When burning is used to dispose of excessive fuel loading the following requirements apply:</p> <ul style="list-style-type: none"> • Fine, medium and coarse fuel piling and burning is a prescribed post-harvest treatment option; • Prescribed burning in collaboration with BCWS is a prescribed post-harvest treatment option; • All burning is to be conducted in compliance with the BC Wildfire Act and Wildfire Regulation, and the Environmental Management Act Open Burning Smoke Control Regulations (OBSCR). Exceptions include practices where burning occurs under an Authorization to Discharge Waste under a smoke management plan. • Burn piles must be constructed within the boundaries of TUs to facilitate effective ignition and complete combustion with minimal tending by ground crews. Piles and windrows will feature a mix of small/large and live/dead stem and branch sections arranged to burn efficiently with minimal smoke production. Levels of dirt/soil must be kept to a minimum.

² <http://www.env.gov.bc.ca/esd/distdata/ecosystems/wis/deif/fieldmanual/deif7.pdf>

	<ul style="list-style-type: none"> The ventilation index will be indicated as 'good' (>64) prior to igniting burn piles and burning may continue if ventilation index continues as 'good' or drops to 'fair'. If the ventilation index drops to 'poor', no additional materials may be added to burn piles until ventilation improves. Ventilation index is rated according to the forecast ventilation index prepared using Environment Canada data³. Due to the significant distance between the nearest ventilation index station at Powder Creek and the proposed treatment area, the contractor may request a custom ventilation index from the Ministry of Environment if the Powder Creek station does not characterize local conditions at the time of burning. Local ventilation must be confirmed by lighting a small test pile before lighting multiple piles. Burning can only continue if indices remain at fair or better. The contract supervisor may halt burning at their discretion if concerns related to public safety or health are identified. It is the contractor's responsibility to monitor venting and adjust activities accordingly. Smoke should not negatively impact residences adjacent to the proposed treatment area. Further requirements may be imposed, depending on public reaction and smoke conditions at the time of implementation. Burn piles must not be located within Riparian Management Areas, on recreation trails, inside or within a distance of 5m of an animal burrow or Yew tree, within 3m of a snag, and must not result in scorching or heat damage to more than 5% of retained trees and coarse woody debris. It is the contractor's responsibility to obtain all necessary burn permits from relevant agencies before burning (MoFLNRORD, MoE, RDCK, etc). <p>Burning in all TU's will only occur as Category 2 Piles⁴ following these specifications:</p> <ul style="list-style-type: none"> Must be a minimal number of piles and adhere to a maximum size of 3m x 3m x 2m tall.
DISPOSAL – COMMUNITY FIREWOOD	If firewood production occurs in any TU, it will be in accordance with direction from VoK representative.

J. VALUES – Fuel Management Prescription Consistency with the <i>FOREST AND RANGE PRACTICES ACT & Applicable Forest Stewardship Plan</i>					
RIPARIAN & LAKESHORE AREAS - Forest Planning and Practices Regulation (FPPR) division 3, Government Action Regulation (GAR) section 6, Forest and Range Practices Act (FRPA) sections 180 and 181					
Is the proposed cutting, modification or removal of trees, or site preparation, in an area that contains streams, lakes or wetlands?	Yes	No X	<u>Consistency Statement:</u>		
RIPARIAN MANAGEMENT AREAS (RMAs) - FPPR sections 51 and 52					
TU	STREAM, LAKE, WETLAND ID	CLASS	RRZ (m)	RMZ (m)	SPECIFICATIONS FOR RIPARIAN OR LAKESHORE MANAGEMENT AREAS
TU23-N- Manual	S6-1	S6	20	-	Located within TU23-N. No cutting, burning of tree removal within 20m of the wetted edge of S6-1.
TEMPERATURE SENSITIVE STREAMS - FPPR section 53, GAR section 15, FRPA sections 180 and 181					

³ <http://www.env.gov.bc.ca/epd/epdpa/venting/>

⁴ https://www2.gov.bc.ca/assets/gov/public-safety-and-emergency-services/wildfire-status/fire-bans-and-restrictions/bcws_backyardburning.pdf

Are there temperature sensitive streams or direct tributaries to temperature sensitive streams within or adjacent to the proposed treatment area?	Yes	No X	<u>Consistency Statement:</u> There are no temperature sensitive streams located within or adjacent to this prescription area.
ROAD CONSTRUCTION IN RIPARIAN MANAGEMENT AREAS - FPPR section 50			
Is road construction proposed in riparian management areas within the treatment area or an associated road permit (RP)?	Yes	No X	<u>Consistency Statement:</u> There is no additional road construction associated with this fuel management prescription.
STREAM CROSSINGS - FPPR section 55			
Will stream crossings be constructed within the proposed treatment area or a road permit road providing access to the treatment area?	Yes	No X	<u>Consistency Statement:</u> There are no additional stream crossings required to be constructed associated with this fuel management prescription.
MAINTAINING STREAM BANK AND CHANNEL STABILITY ON S4, S5, and S6 Streams - FPPR section 52 (2)			
Is the proposed treatment in the RMZ of an S4, S5 or S6 stream that is directly tributary to an S1, S2 or S3 stream and the activity is likely to contribute significantly to the destabilization of the stream bank or the stream channel?	Yes X	No	<u>Consistency Statement:</u> Located with TU23-N is a watercourse (S6-1) with an S6 classification. The proposed treatment is not likely to contribute to the destabilization of this stream and its banks, due to the establishment of a 20m RRZ. Also, the treatment regime in TU23-N consists of understory thin, surface fuel reduction, and pruning. This unit will not witness machinery, or overstory thinning.
DOMESTIC WATER LICENCES (inside or outside of community watershed) - FPPR section 59			
Does the proposed treatment area contain water sources that are diverted for human consumption by a licensed waterworks?	Yes	No X	<u>Consistency Statement:</u> There are no water sources that are diverted for human consumption by a licensed waterworks within the TU.
LICENCED WATER WORKS (inside or outside of a community watershed) - FPPR section 60			
Does the proposed treatment include areas that are within 100 m of a licensed waterworks?	Yes	No X	<u>Consistency Statement:</u> No licensed waterworks exist within the treatment area.
FISHERIES SENSITIVE WATERSHED - GAR section 14, FPPR section 8.1			
Are any activities proposed within a fisheries sensitive watershed?	Yes	No X	<u>Consistency Statement:</u> There are no fisheries sensitive watersheds designated within the Selkirk Resource District.
COMMUNITY WATERSHED - GAR section 8, FPPR section 8.2, 61, 62 and 84			
Does the proposed treatment area include areas that are within a community watershed?	Yes	No X	<u>Consistency Statement:</u> There is no additional road construction or deactivation associated with this fuel management prescription.

Will this project require road construction or deactivation within a community watershed?	Yes	No X	<u>Consistency Statement:</u> There is no additional road construction or deactivation associated with this fuel management prescription.
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WATERSHED ASSESSMENT CONSIDERATIONS - FRPA section 180 areas with "significant watershed sensitivity"

Does the proposed treatment area include areas that have watershed assessment considerations?	Yes	No X	<u>Consistency Statement:</u> There are no areas with "significant watershed sensitivity"
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SOIL DISTURBANCE AND PERMANENT ACCESS STRUCTURES - FPPR sections 35 and 36

Treatment Unit	Max. Allowable Soil Disturbance (%)	Max. Soil Disturbance for Roadside Work Areas	Proposed Max. Permanent Access Structures	Comments
TU23-I (Mechanical)	10	25	7	No additional construction of PAS is associated with this fuel management prescription. Any additional soil disturbance associated with FMP prescribed activities falls within soil disturbance limits. Refer to licensee Site Plan and/or supporting documentation FPPR 35 consistency.
TU23-E, F, G, H, N, O, P + Q (Manual)	5	5	-	No additional construction of PAS is associated with this fuel management prescription. Any additional soil disturbance associated with FMP prescribed activities falls within soil disturbance limits. Refer to licensee Site Plan and/or supporting documentation FPPR 35 consistency.
TU23-A, B, C, D, J, K, L + M (Maintenance)	5	5	-	No additional construction of PAS is associated with this fuel management prescription. Any additional soil disturbance associated with FMP prescribed activities falls within soil disturbance limits. Refer to licensee Site Plan and/or supporting documentation FPPR 35 consistency.

Do the proposed Permanent Access Structures exceed 7% of the total area?	Yes	No X	<u>Consistency Statement:</u> No additional construction of PAS is associated with this fuel management prescription. Refer to FPPR 36 consistency.
LANDSLIDES AND TERRAIN STABILITY - FPPR section 37			
Does the proposed treatment area include areas where terrain stability is a concern?	Yes	No X	<u>Consistency Statement:</u> TUs 23-N, 23-E, and small components of 23-G are within a 'potentially unstable' slope class. As these units are focused on understory removal and surface fuel removal, the risk of erosion and mass wasting is not likely to be exacerbated. A geotechnical engineer may be consulted prior to implantation of the three aforementioned units.
SUITABLE SECONDARY STRUCTURE - FPPR section 43.1			
Does the proposed treatment area include a "targeted pine leading stand"?	Yes	No X	<u>Consistency Statement:</u> This fuel management prescription is not associated with a targeted pine leading stand.
UNGULATE WINTER RANGE - GAR section 12, FRPA sections 180 and 181, FPPR section 69			
Does the proposed treatment area include areas within an Ungulate Winter Range?	Yes	No X	<u>Consistency Statement:</u> The Treatment unit is located within Woodland Caribou (Southern Mountain) critical habitat area. The unit is located within Mule Deer ungulate winter range habitat, polygon U-4-001. The proposed treatment area includes areas within Ungulate Winter Range UWR units 123 as per GAR UWR U-4-001. Analysis of UWR management unit 123, indicates that neither snow interception cover nor the capacity on maximum area of stands < 21 years of age constrain harvest in units 123, currently. The FMP area further complies with the limits set out in GAR UWR U-4-001, because no overstory trees are prescribed to be removed within all of the manual units, except TU23-I. UWR calculations are attached. See Appendix E.
WILDLIFE HABITAT AREA - GAR section 10, FRPA sections 180 and 181, FPPR section 69			
Does the proposed treatment area include any wildlife habitat areas (WHA)?	Yes	No X	<u>Consistency Statement:</u> This TU contains a Ministry of Environment bat surveillance project SYSIS 35916) which leads ongoing monitoring for (Chiroptera) bats. The status on the Species Inventory Web Explorer shows the project area to have the potential presence of Chiroptera. Prior to implementation, to ensure this treatment regime will not impact Chiroptera, this prescription is to be shared with a qualified biologist.
OBJECTIVES SET BY GOVERNMENT FOR WILDLIFE - FPPR section 7			

Does the proposed treatment area include areas to which objectives for wildlife under FPPR section 7 apply?	Yes X	No	<u>Consistency Statement:</u> As stated in the previous line item, the potential presence of Chiroptera bats exist in the prescription area, however this prescription maintains the objectives for wildlife under FPPR section 7.
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OBJECTIVES SET BY GOVERNMENT FOR BIODIVERSITY OBJECTIVES (Landscape Level) - FPPR section 64 & 65

Does the proposed treatment area exceed 40 hectares? If 'Yes', the provisions under FPPR 64(2), (3), and/or (4) must apply.	Yes	No X	<u>Consistency Statement:</u> This TU does not exceed 40 ha.
Is the proposed treatment adjacent to an existing cutblock(s) for which the combined opening area is >40ha and the requirements set out in FPPR 65(3) have not been met?	Yes	No X	<u>Consistency Statement:</u> This TU is not adjacent to an existing cutblock(s) for which the combined opening area is >40ha.

OBJECTIVES SET BY GOVERNMENT FOR BIODIVERSITY OBJECTIVES (Stand Level) - FPPR section 66 & 67

Is the proposed treatment inconsistent with the Results & Strategies for stand-level biodiversity objectives as specified in the applicable Forest Stewardship Plan?	Yes	No X	<u>Consistency Statement:</u> This TU is not included in an FSP.
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RECREATION FEATURES - FRPA section 56 and 149, FPPR section 70

Does the proposed treatment area contain interpretive sites, recreation trails, recreation sites, recreation facilities that are of significant recreation value and are designated a resource feature?	Yes X	No	<u>Consistency Statement:</u> Sanctioned trails intersect subunits 23-H, 23-G, 23-O, 23-F, 23-E, and 23-I-Commercial
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VISUAL QUALITY OBJECTIVES - GAR section 7, FRPA sections 180 and 181, FPPR section 9.2

Is the proposed treatment within a scenic area?	Yes X	No	<u>Consistency Statement:</u> This TU is within a Partial Retention VQO area. The proposed treatments are consistent with Partial Retention VQO requirements.
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ARCHAEOLOGICAL RESOURCES/CULTURAL HERITAGE RESOURCES - FPPR section 10

Are there any known archaeological sites or cultural heritage resources that are important to First Nations within the proposed area?	Yes X	No	<u>Consistency Statement:</u> Archaeology Assessments will be completed prior to implementation of this project
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INVASIVE PLANTS - FRPA section 47 and FPPR section 17

Is the introduction and spread of invasive plants likely as a result of the proposed treatment?	Yes X	No	<p><u>Consistency Statement:</u> There are potential infestations of Creeping Buttercup, Canada Thistle, Meadow Buttercup, Oxeye Daisy, Scotch Broom, Sulphur Cinquefoil, St. John's Wort along the roadsides and flanks of the 23-H, 23-O, 23-E and 23-J (Maintenance) and 23-K (Maintenance).</p> <p>The following best management practices will be utilized to reduce the risk of creating new or spreading existing infestations:</p> <p>If feasible, avoid infested areas, otherwise, work non-infested areas first and infested areas last Contractors will be directed to inspect/clean equipment before moving to a new site with documentation of these activities being kept on file Minimize soil disturbance Grass seed exposed mineral soil on burn pile sites is recommended.</p>
NATURAL RANGE BARRIERS - FRPA section 48, FPPR section 18			
Are there natural range barriers within the proposed treatment area that are likely to be removed or rendered ineffective?	Yes	No X	<p><u>Consistency Statement:</u> There are no impacts to natural range barriers associated with this fuel management prescription.</p>
KOOTENAY-BOUNDARY HIGHER LEVEL PLAN ORDER (HLP's and objectives set by Government under the <i>Land Act</i>)			
Is the proposed treatment inconsistent with KBHLPO Objectives 1, 2, 4, 5, 7, & 8? (Obj. 3 is repealed, Obj. 9 is superseded by GAR, & Obj. 10 is outside the scope of an FMP)	Yes	No X	<p><u>Consistency Statement:</u> This TU is not inconsistent with KBHLPO Objectives 1, 2, 4, 5, 7, & 8</p>
Is the proposed treatment associated with an Old Growth Management Area and is not consistent with Selkirk Resource District OGMA guidance?	Yes	No X	<p><u>Consistency Statement:</u> There are no overlapping OGMAs.</p>
Does KBHLPO Objective 6 (Consumptive Use Streams) apply to any streams associated with the treatment area?	Yes	No X	<p><u>Consistency Statement:</u> There are no consumptive use streams associated with this TU.</p>
K. OTHER CONSIDERATIONS AND REQUIREMENTS			
CONSULTATION – FIRST NATIONS			
CONCERNS IDENTIFIED AND MEASURES TO ADDRESS			
CONCERNS IDENTIFIED AND MEASURES TO ADDRESS			
Archaeology Assessments will be completed prior to implementation			
First Nations consultation complete?	Yes	No X	Comments: First Nations Information Sharing is not required on Municipal Land
CONSULTATION – GENERAL			
Community engagement is ongoing in Kaslo lead by the Kaslo FireSmart Working Group.			
EXISTING TENURE HOLDERS (Forest, Range, Guide Outfitters, Trappers, Water licensees, etc)			

Tenure Holder	Concerns		Measures proposed to address licensee's concerns
Trapper		No	This TU contains no trap lines.
ASSESSMENTS			
Are there any relevant assessments applicable to the site (terrain stability, wildlife, archaeological, hydrological, etc)?	Yes	No X	Measures that demonstrate consistency with relevant assessment recommendations: This TU requires no additional assessments.

PRIVATE PROPERTY			
Does private property border the proposed treatment area?	Yes	No X	Measures that demonstrate consistency with relevant assessment recommendations: Yes, private boundary borders this entire project area. Adjacent property owners will be consulted prior to implementation in order to conform property boundaries and any issues that may require discussion

SMOKE MANAGEMENT			
Does a smoke management plan exist for the proposed treatment area?	Yes	No X	No smoke management plan exists for this TU. Contractors will be expected to follow the OBSCR regulations held by the Province of BC.

SAFETY			
Have any specific safety concerns been identified in or adjacent to the proposed treatment area?	Yes X	No	The contractor shall act as the Prime Contractor and establish and maintain a system or process that will ensure compliance with Part 3 of the WC Act and all WSBCOHSR applicable to the Place of Work or Work Area. No steep slopes exist within the TU although dangerous slip/ trip hazards and machine roll over hazards are possible. Recreation trails will need to be closed during treatment for public safety and will consist of any combination of the following: signage at trail heads, postings on social media platforms and in newsprint or as otherwise needed and appropriate.

UTILITIES			
Are utilities located in or adjacent to the proposed treatment area? i.e. power lines, gas lines, etc.	Yes X	No	Measures that demonstrate consistency with relevant assessment recommendations: Yes, Fortis Power Lines are parallel and adjacent to the west of TU23-I-mechanical. The harvesting contractor shall act as the Prime Contractor and establish and maintain a system or process that will ensure compliance with utility cutting specifications. The harvesting contractor shall act as the Prime Contractor and establish and maintain a system or process that will ensure compliance with utility cutting specifications.

ACCESS CONTROL			
Are there any foreseen issues with access and access control during and post treatment?	Yes X	No	Prime contractor will be SAFE certified and will secure worksite access during treatment. Road signage and communication protocols will be in place.
TRAFFIC CONTROL			
Is traffic control required at any point during operations?	Yes X	No	Prime contractor will be SAFE certified and will secure worksite access during treatment. Road signage and communication protocols will be in place.
OTHER (eg: Public Notification)			
Public notification will be coordinated by VoK representatives and will consist of any combination of the following: signage at trail heads, postings on social media platforms and in news print or as otherwise needed and appropriate.			

L. POST TREATMENT
EXPECTED VEGETATION RESPONSE
<p>ICHdw1-101/104</p> <p>Observations from older TUs nearby indicate that this TU will over time support a good component of shrub layers such as Douglas maple, paper birch, mountain ash and other deciduous.</p> <p>The unit includes soils that are considered loamy sand. The unit is lower slope and as a result is a receiving site for moisture, contributing to the mesic site series. It is expected with the reduction in crown closure and overstory stand density, the vegetation response may result in the ingrowth of shade tolerant species. It is recommended that this area be assessed within 10 years to determine the need for retreatment.</p> <p>The shaded fuel break created from these treatments is expected to result in stands where the dominant tree crowns continue to grow outward and suppress most conifer regeneration. The areas of highest concern for vegetation response are those where the highest levels of disturbance both to crown closure (i.e. higher stem removal) and the forest floor (i.e. landings, roads and skid trails) are expected. These areas pose a higher risk for both shrub ingrowth, deciduous and conifer regeneration response.</p>
EXPECTED MAINTENANCE INTERVAL
It is expected that the unit will require a maintenance treatment after ten to fifteen years that will primarily include small (<7.5 cm DBH) tree thinning. Sanitation salvage harvesting may need to take place to address forest health issues such as Douglas fir bark beetle and windthrow.
SILVICULTURE OBLIGATIONS
Do silvicultural obligations apply to the treatment area? No. This is Municipal Land. Retention specs will meet the 'Fire Management WUI Stocking Standards for the Selkirk Resource District, South Columbia, this unit is ICHdw1- 101/104'.
PLANTING
Is planting a treatment identified in this prescription or required as a legislative obligation? No.
Outstanding Works
- Consult recreation and trail clubs prior to implementation for public safety, timing of works, and protection or enhancement of trail quality.

- Consult a qualified biologist on best management practices for Chiroptera bat habitat
- Consult local art installation owner regarding the protection or enhancement of their work within or adjacent to treatment units.
- Prior to implementation bring in an Archaeologist to conduct the appropriate archaeological assessment.

L. Administration and approval

RPF PRINTED NAME	Registered Professional Forester Signature and Seal
John Cathro	
DATE SIGNED	
September 30, 2023	
<p>I certify that I have reviewed this document and I have determined that this work has been done to standards acceptable of a Registered Professional Forester.</p>	



REQUEST FOR COUNCIL DECISION

PREPARED BY: Catherine Allaway, Corporate Officer

DATE: March 8, 2024

SUBJECT: Committee of the Whole Meeting Schedule

PURPOSE: To schedule Committee of the Whole meetings to discuss municipal projects and the 2024 budget.

RECOMMENDATION:

THAT a Committee of the Whole meeting be scheduled for 6:00 p.m. on Thursday, March 14, 2024 to discuss municipal projects, and further

THAT a Committee of the Whole meeting be scheduled for _____, to discuss the 2024 budget.

ATTACHMENTS: Nil

BACKGROUND: A Committee of the Whole meeting to discuss the status of municipal projects was scheduled for 6:00 p.m. on February 28, 2024 but it was cancelled due to bad weather. Thursday, March 14th has been identified as an alternate date that works for all members of Council.

An additional Committee of the Whole meeting is recommended to discuss the 2024 budget and five year financial plan for the Village. Since the five year financial plan and tax rate bylaws need to be adopted prior to May 15th the budget deliberations should take place as soon as possible, hopefully in the first week of April.

CAO Approval: [Date approved by CAO]